



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Meeting Agenda Planning Commission

Monday, July 28, 2014

7:00 PM

Commission Chambers

Work Session - Sewer Moratorium

6:00 P.M.

[PC 14-082](#)

An Ordinance Declaring a Six-Month Moratorium on Land Development and Building and Sewer Permit Approval in Certain Areas within the City of Oregon City Due to a Lack of Sanitary Sewer System Capacity; and Declaring an Emergency (Planning File L-14-03).

Sponsors: Community Development Director Tony Konkol and City Engineer Aleta Froman-Goodrich

Attachments: [Commission Report](#)

[Sanitary Sewer Moratorium Project Website](#)

[Ordinance 14-1006](#)

[Exhibit A](#)

[Exhibit B](#)

[Exhibit C](#)

[Exhibit D](#)

Regular Meeting

7:00 P.M.

1. Call to Order

2. Approval of Minutes

[14-433](#)

Adoption of Planning Commission Minutes for March 24, 2014 and April 14, 2014.

Sponsors: Community Development Director Tony Konkol

Attachments: [Staff Report](#)

[Draft PC Minutes March 24 2014.pdf](#)

[Draft PC Minutes April 14 2014.pdf](#)

3. Public Comments on Non-Agenda Items

4. Public Hearings

- 4a. [PC 14-084](#) CU 13-03: Conditional Use and SP 13-22 Site Plan and Design Review for a wireless communication pole on the McLoughlin Elementary School property, located at 19230 South End Road

Sponsors: Community Development Director Tony Konkol

Attachments: [Commission Report July 28th](#)

[Request for Continuance](#)

[Extension to 120-day deadline](#)

- 4b. [PC 14-086](#) Portland Metro Men's Center - Findings of Fact Conditional Use Permit (CU 13-01), Site Plan and Design Review (SP 13-11), Lot Line Abandonment (LL 13-04) and Nonconforming Use Review (LN 14-04)

Sponsors: Community Development Director Tony Konkol

Attachments: [Commission Report July 28](#)

[Staff report with Findings](#)

- 4c. [PC 14-083](#) Proposed annexation of 5.5 acres at 19588 S McCord Road (Planning File: AN 14-01).

Sponsors: Community Development Director Tony Konkol

Attachments: [Commission Report](#)

[AN 14-01 Recommended Findings](#)

[Application](#)

[Property Report](#)

[Affidavit of Sign Posting](#)

[Mailed Public Notice](#)

[Newspaper Public Notice Affidavit](#)

[Neighborhood Association Meeting Notes](#)

[Plans](#)

[CRW Comments](#)

[Replinger and Associates Comments on TIA](#)

- 4d. [PC 14-088](#) Oregon City Sign Code Update (Planning File: L 14-01).

Attachments: [StaffReport21-Jul-2014-03-45-23.pdf](#)

Continuance

5. Communications

6. Adjournment

Public Comments: The following guidelines are given for citizens presenting information or raising issues relevant to the City but not listed on the agenda.

- *Complete a Comment Card prior to the meeting and submit it to the staff member.*
- *When the Chair calls your name, proceed to the speaker table and state your name and city of residence into the microphone.*
- *Each speaker is given 3 minutes to speak. To assist in tracking your speaking time, refer to the timer at the dais.*
- *As a general practice, Oregon City Officers do not engage in discussion with those making comments.*

Agenda Posted at City Hall, Pioneer Community Center, Library, and City Web site(oregon-city.legistar.com).

Video Streaming & Broadcasts: The meeting is streamed live on Oregon City's Web site at www.orcity.org and is available on demand following the meeting.

ADA: City Hall is wheelchair accessible with entry ramps and handicapped parking located on the east side of the building. Hearing devices may be requested from the City staff member prior to the meeting. Disabled individuals requiring other assistance must make their request known 48 hours preceding the meeting by contacting the City Recorder's Office at 503-657-0891.



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Staff Report

File Number: PC 14-082

Agenda Date: 7/28/2014

Status: Agenda Ready

To: Planning Commission

Agenda #:

From: Community Development Director Tony Konkol and City

File Type: Planning Item

SUBJECT:

An Ordinance Declaring a Six-Month Moratorium on Land Development and Building and Sewer Permit Approval in Certain Areas within the City of Oregon City Due to a Lack of Sanitary Sewer System Capacity; and Declaring an Emergency (Planning File L-14-03).

RECOMMENDED ACTION (Motion):

This is a worksession presentation, no action is required.

BACKGROUND:

On August 6, 2014, at 7:00 PM, the City Commission will hold a public hearing regarding the adoption of the proposed ordinance, Ordinance 14-1006. This ordinance will adopt a moratorium on land development and building and sewer permit approvals in four certain areas within Oregon City due to a lack of sanitary sewer system capacity and declaring an emergency. In the upcoming months, the City Commission will be meeting and making decisions about future sewer rates and system development charges to provide the funding program needed to construct the sewer improvements for the "moratorium areas".

The City of Oregon City recently updated its 2003 Sanitary Sewer Master Plan. Over the last 2 years, the City's engineering consultant Brown and Caldwell (B&C) has been evaluating the City's sanitary sewer system and developing a new Sanitary Sewer Master Plan (SSMP) which provides detailed collection system modeling results and the capital improvement project plans for existing and future development needs.

The new SSMP identifies four areas within the City's existing sanitary sewer collection system which currently have capacity deficiencies during wet weather (both the 5-yr-24-hr & 10-yr-24-hr design storm event existing conditions). The capacity deficiencies result in pipe system surcharge where limited overflows may occur discharging inadequately treated sewage into surfacewater. The City of Oregon City's Comprehensive Land Use Plan requires that the rate of community growth and development may not exceed the community's ability to provide essential public services, including a sanitary sewer system. Policy 11.2.3 of the City's Comprehensive Plan requires that the City "...provide enough collection capacity to meet standards established by the Oregon Department of Environmental Quality (DEQ) to avoid discharging inadequately treated sewage into surfacewater".

The City has determined that there is a need to adopt an ordinance for a moratorium on land development and building and sewer permit approvals in four areas where the sanitary sewer system is flow-constrained. The City finds there is a demonstrated need to prevent sanitary sewer overflows that would only be more likely to occur if the proposed moratorium is not in place. The flow-constrained areas are identified in the maps available in the links on the project page but are generally described as:

- Hazelwood Dr
- Linn Ave
- 12th St
- 12th St/13th St/Division St

BUDGET IMPACT:

Amount:

FY(s):

Funding Source:

ORDINANCE NO. 14-1006

AN ORDINANCE DECLARING A SIX-MONTH MORATORIUM ON LAND DEVELOPMENT AND BUILDING AND SEWER PERMIT APPROVALS IN CERTAIN AREAS WITHIN THE CITY OF OREGON CITY DUE TO A LACK OF SANITARY SEWER SYSTEM CAPACITY; AND DECLARING AN EMERGENCY

WHEREAS, the City of Oregon City is a home rule city under the laws of the State of Oregon and has a duly acknowledged Comprehensive Land Use Plan; and

WHEREAS, the City has contracted with Brown and Caldwell (B&C) to evaluate the City's sanitary sewer system and propose a Sanitary Sewer Master Plan (SSMP) which provides the hydraulic sanitary sewer system modeling results and the capital improvement projects list needed to evaluate the City's existing and future development needs; and

WHEREAS, the initial results from the draft SSMP identified four areas within the City's existing sanitary sewer collection system, as depicted on the maps attached as Exhibit A, to have significant existing capacity deficiencies during wet weather conditions for a design 10-yr-24-hr storm event; and

WHEREAS, B&C also modeled existing wet weather conditions for an Oregon Department of Environmental Quality required regulatory 5-year-24-hour storm event and the results confirmed the same four areas in the City's existing sanitary sewer collection system to currently have significant existing capacity deficiencies and these findings along with the City Engineer's summary of them are attached as Exhibit B and Exhibit C; and

WHEREAS, the City of Oregon City Sanitary Sewer Master Plan (2003) contains specifications for the existing wastewater collection system and although it concludes that the sewer system is in good condition, it identifies slight surcharging occurring within the four affected basins; and

WHEREAS, the City of Oregon City's acknowledged Comprehensive Land Use Plan requires that the rate of community growth and development may not exceed the community's ability to provide essential public services and facilities, including a sanitary sewer system; and

WHEREAS, Policy 11.2.1 requires that the City "plan, operate and maintain the wastewater collection system for all current and anticipated city residents"; and

WHEREAS, Policy 11.2.3 of the City's Comprehensive Plan requires that the City "...provide enough collection capacity to meet standards established by the Oregon Department of Environmental Quality (DEQ) to avoid discharging inadequately treated sewage into surfacewater"; and

WHEREAS, the City finds there is a demonstrated need to prevent sanitary sewer overflows that would occur if the proposed moratorium is not in place; and

WHEREAS, the identified sanitary sewer capacity deficiencies are limited to four areas within the City and thus, any moratorium shall be reasonably limited to restricting new sewer line connections to the properties identified on the maps attached as Exhibit A that are served by these sewer lines, and redevelopment of said properties that will cause an increase of wastewater discharge to the capacity deficient sewers; and

WHEREAS, based upon reasonably available information, the City makes the following findings in support of the above finding of demonstrated need as required by ORS 197,520(2):

- A. While a moratorium can logically have a negative economic effect, the lack of sewer capacity infrastructure causes safety hazards and reduces the overall quality of life which may lead to the same results. Therefore, it makes more sense to control growth through a moratorium until a plan of correction can be identified.
- B. The City Engineer's summary, attached as Exhibit B, and the B&C reports, attached as Exhibit C, explain that the City's sewer system is currently existing flow-constrained conditions that could lead to overflow conditions. Therefore, the City cannot allow any development or redevelopment that increases flows to these restricted areas.
- C. The City has made every effort to reduce the impact the proposed moratorium could have on development. First, the area subject to the moratorium restrictions is quite small. Taken together, the sewer constrained area comprises 645.3 acres and represents approximately 11% of the total land area within the City. Second, the zoned capacity for these areas is only slightly greater than the developed capacity. In other words, much of this area has been developed to the maximum densities allowed. The developable land, that is either vacant or contains development that is less than the underlying land value as depicted on the maps attached as Exhibit D, is estimated at 64.2 acres. Third, nearly half of the potentially developable lots are designated for low density residential uses. If all of the vacant or underdeveloped land subject to the moratorium was to seek development approval during this period, this would result in delaying the development of approximately 490 residential homes. Putting this number into context, the Park Place Concept Plan approved 1,459 units and 1,747 to 2,637 was the range of units that could locate in South End. Other areas of the City are available in the short term to accommodate the needed housing demand. Similarly, those lands designated for economic development are largely built to capacity. Finally, none of the area affected is zoned to accommodate industrial and less than 4% of the area affected by the moratorium is zoned to accommodate employment or commercial uses. For these reasons, particularly as it relates to non-residential development, this moratorium is likely to have a negligible impact on the City's ability to satisfy its economic development demands.
- D. Moreover, any development or redevelopment proposal that does not increase wastewater flows to these capacity restrained areas will be exempt and allowed to proceed.

E. Finally, the City has identified four development projects actively moving through the City's permit review process that could be adversely affected by this moratorium. These property owners have been notified of the moratorium and aware of the potential impacts to their projects. These projects include:

Permit Status	Assessor's Parcel Number (APN)	Property Address	Proposed Development Use	Existing Use	Zoning District	Planning File #(s)
Pre-Application Phase	3-2E-06AA-5100	545 Holmes Avenue	30 units multi-family residential	One single family house	R-2	PA 14-20
Land Use Approval Phase	3-2E-06CA-1700 and 1800	405 Warner Parrott Road	62 units dormitory resident facility plus separate office building	Church	R-10	SP 13-11, CU 13-01, LN 14-04, PA 13-09, LL 13-04
Building Permit Phase	2-2E-32CA-06601	no address-Eluria	one new Single Family House	Vacant Lot of Record	R-6	US 13-01, NR 13-06, LN 14-03
Building Permit Phase	2-2E-31AD-04700	721 Monroe St	4 units multi-family residential	Vacant Lot of Record	R3.5	PA 12-07, HR 13-01, SP 13-03

WHEREAS, to avoid exacerbating existing deficiencies within the City's sanitary sewer collection system and to allow time for completion of studies to identify solutions, funding mechanisms and the construction of necessary improvements, the City Commission finds there is immediate need to impose a moratorium on new development within four areas of the City for a period of six (6) months pursuant to ORS 197.520(2). The City Commission's determination of need for the moratorium is based on reasonable available information, the record of proceedings leading to adoption of this ordinance and the findings contained in this ordinance. The City Commission also determines that by exempting development or redevelopment projects located within the four areas that do not increase sewer flows into these capacity constrained areas from this moratorium serves to accommodate the housing and economic development needs of the area affected by the moratorium as much as possible; and

WHEREAS, pursuant to ORS 197.520(1)(a), the City has provided written notice to the Department of Land Conservation and Development on May 2, 2014, which is more than 45 days prior to the final public hearing for August 6, 2014, for adoption of this ordinance; and

WHEREAS, pursuant to ORS 197.520(1)(b), the City has made written findings justifying the need for the moratorium in accordance with ORS 197.520(2); and

WHEREAS, pursuant to ORS 197.520(1)(c), on August 6, 2014, the City Commission held a duly noticed public hearing on declaring a moratorium based on the lack of sanitary sewer capacity to allow new or expanded connections to the City's sewer system in four areas and the findings which support the moratorium.

NOW, THEREFORE, THE CITY OF OREGON CITY ORDAINS AS FOLLOWS:

Section 1. Moratorium Declared.

A. Based on the foregoing findings, a moratorium based on lack of sanitary sewer capacity for new development is declared for the areas identified in the map attached as Exhibit A.

B. All proposals for development of vacant properties or redevelopment of existing improved properties shall be reviewed by the City and the City shall determine if the proposed development will increase flows to the existing sanitary sewer system.

C. For the purposes of this ordinance, "development" shall mean: (1) an application for a Type I, II, III, or IV land use permit including land divisions; and (2) new construction, changes to the interior of an existing building, or an increase in the floor area of an existing building that require a building or plumbing permit, and/or a public works sewer or construction plan permit.

D. While this moratorium is in effect, all development shall be subject to the following notice and restrictions:

1. Property owners and representatives shall be notified by staff of the moratorium at the earliest opportunity either during pre-application conferences or before. However, the failure to provide notice shall not alter the development restrictions imposed by this moratorium.
2. Land use permit applications will continue to be processed during the moratorium period, and if approved, appropriate conditions shall be imposed restricting development until the flow-constrained sewer condition is remedied.
3. No building or plumbing permit, and/or a public works sewer or construction plan permit applications may be accepted or issued until flow-constrained sewer condition is remedied.

E. This moratorium shall not apply to development where the Community Development Director and Public Works Director find through written findings, either through the applicable Type III or IV procedures or, if Type I or no procedure is identified, through a Type II procedure, that either:

1. The proposed development will not increase the sanitary sewer flows into the flow-constrained area; or

2. Where a solution is identified to reduce the identified surcharging conditions to acceptable levels. Some examples may include a development agreement providing for pipe replacement or joint effort amongst property owners to replace sections of pipe and reimbursement through a local improvement district.

Section 2. Term. This moratorium shall expire six (6) months from the date of its enactment unless otherwise extended in accordance with state law.

Section 3. Effect on Unexpired Land Use Approvals. For properties subject to this moratorium that have an approved land use review that has not yet expired, the expirations date for the approved land use review specified by OCMC 17.50.200 shall be extended by the length of this moratorium and any moratorium extensions.

Section 4. Reporting. The City Engineer, in consultation with the City's Public Works Director and Community Development Director, shall regularly report to the City Commission on the impact of the moratorium on development and the sewer capacity overflow conditions.

Section 5. Severability. If any provision of this Ordinance or its application to any person or circumstance is held invalid, the invalidity does not affect other provisions or applications of this Ordinance that can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are severable.

Section 6. Emergency. This Ordinance being necessary for the immediate preservation of the public peace, health and safety, an emergency is declared to exist, and this Ordinance takes effect on its passage.

Read for the first time at a regular meeting of the City Commission held on the 6th day of August, and the City Commission finally enacted the foregoing ordinance this 6th day of August 2014.

DOUG NEELEY, Mayor

Attested to this _____ day of August, 2014:

Approved as to legal sufficiency:

Nancy Ide, City Recorder

City Attorney

Exhibits:

Exhibit A - Maps identifying the areas affected by moratorium

Exhibit B - City Engineer Executive Summary

Exhibit C - Brown and Caldwell Technical Memorandum for Constrained Area Evaluation



Exhibit D - Maps identifying developable land within the areas subject to the moratorium

City of Oregon City - Flow-Constrained Areas Sanitary Sewer Collection System

EXHIBIT A

Figure 1A

Legend

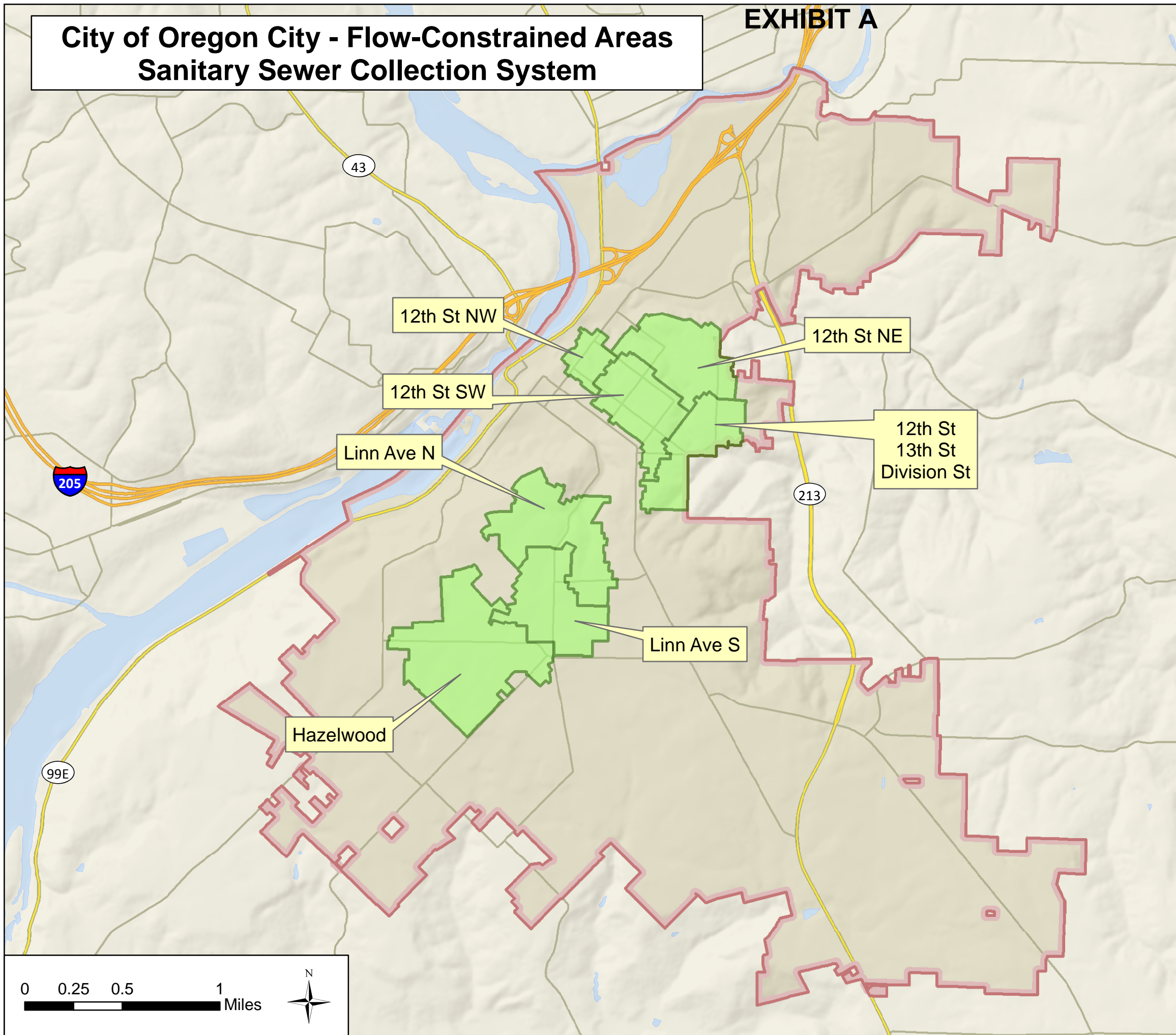
-  City Limits
-  Sanitary Sewer Flow-Constrained Area

Zoning District Classification

Zone	Description
I	Institutional District
MUC-1	Mixed Use Corridor 1 District
MUD	Mixed Use Downtown District
MUE	Mixed Use Employment District
R-2	Multi-Family Dwelling District (2,000 sq ft)
R-3.5	Dwelling District (3,500 sq ft)
R-6	Single-Family Dwelling District (6,000 sq ft)
R-8	Single-Family Dwelling District (8,000 sq ft)
R-10	Single-Family Dwelling District (10,000 sq ft)

Summary - Total Lot Acreage of Flow-Constrained Areas by Zoning District

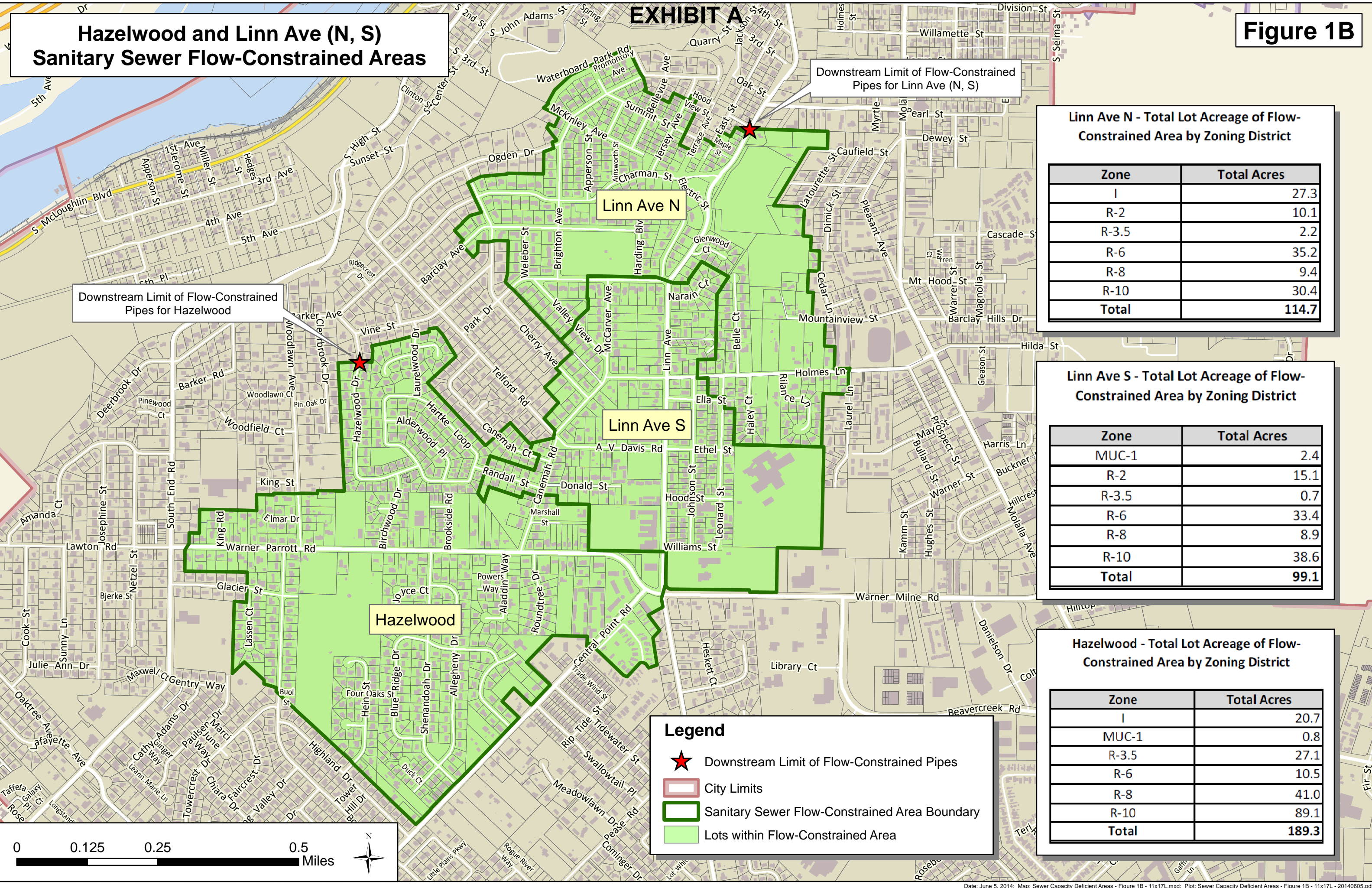
Zone	Total Acres
I	54.3
MUC-1	4.3
MUD	1.5
MUE	28.2
R-2	32.0
R-3.5	68.5
R-6	238.2
R-6/R-3.5	0.9
R-8	59.3
R-10	158.1
Total - All Areas	645.3



Hazelwood and Linn Ave (N, S)
Sanitary Sewer Flow-Constrained Areas

EXHIBIT A

Figure 1B



12th St (NW, NE, SW) and 12th St/13th St/Division St
Sanitary Sewer Flow-Constrained Areas

EXHIBIT A

Figure 1C

Downstream Limit of
Flow-Constrained Pipes

12th St NW

12th St NE

12th St SW

12th St/13th St/Division St

Legend

- City Limits
- Urban Growth Boundary (UGB)
- Downstream Limit of Flow-Constrained Pipes
- Sanitary Sewer Flow-Constrained Area Boundary
- Lots within Flow-Constrained Area

12th St NW - Total Lot Acreage of Flow-Constrained Area by Zoning District

Zone	Total Acres
MUC-1	0.5
MUD	1.2
R-3.5	13.3
R-6	5.6
Total	20.5

12th St NE - Total Lot Acreage of Flow-Constrained Area by Zoning District

Zone	Total Acres
I	4.2
MUC-1	0.2
MUD	0.3
MUE	13.8
R-2	0.9
R-3.5	7.7
R-6	56.8
R-6/R-3.5	0.9
Total	84.8

12th St SW - Total Lot Acreage of Flow-Constrained Area by Zoning District

Zone	Total Acres
I	2.1
MUC-1	0.2
R-3.5	17.3
R-6	47.2
Total	66.8

12th St/13th St/Division St - Total Lot Acreage of Flow-Constrained Area by Zoning District

Zone	Total Acres
MUC-1	0.2
MUE	14.4
R-2	5.9
R-3.5	0.2
R-6	49.5
Total	70.2





MEMORANDUM

PREPARED FOR: City Commission, City of Oregon City

SUBJECT: Executive Summary - Ordinance No. 14-1006 *Adopting a Moratorium on Land Development and Building Permit Approvals in Certain Areas Within the City of Oregon City Due to Lack of Sanitary Sewer System Capacity; and Declaring an Emergency*

PLANNING FILE: L 14-03 Sanitary Sewer Moratorium

FROM: Aleta Froman-Goodrich, P.E., City Engineer

DATE: July 15, 2014

Background

The City of Oregon City (City) provides sanitary sewer collection services to nearly 33,000 people across an area of approximately 9.3 square miles. Currently there are over 10,400 service connections to the sanitary sewer collection system which includes approximately 9,740 residential, 520 commercial, and 130 industrial users. The City owns the following infrastructure: over 148 miles of gravity pipelines, ranging in size from approximately 2 to 36 inches in diameter; 3,700 manholes; 12 (major) pumping stations; and 6 miles of sanitary force mains. The City's buildout population is expected to reach 52,500 by the year 2035, with most of the growth occurring around the fringes of the existing city limits.

In 2012, the City retained Brown and Caldwell to develop a new Sanitary Sewer Master Plan (SSMP) including a calibrated model of the City's sanitary sewer collection system. The new SSMP identifies the capital improvement projects needed to convey the existing and future wastewater flows to the Tri-City Sewer District (TCSD) trunks and interceptors TCSD and eventually to the Tri-City Water Pollution Control Plant. The City is in the process of adopting the new SSMP.

Facts Found in SSMP Assessment of Current Conditions

The assessment of current conditions for the new SSMP found existing gravity sewers in some areas of the City experienced surcharging within 5 feet or less of the manhole rim elevation. In three particular areas of the City, the assessment indicated that the gravity sewers experienced flooding; i.e., sanitary sewer overflows (SSOs) under existing conditions. The focus of the SSMP was on identification of capital improvements throughout the system; however, the assessment created for the SSMP identified current problems that affect potential and proposed redevelopment in areas contributing to the above noted flow-constrained gravity sewers. That discovery required the City take a closer look at the existing flow conditions in these areas. The results of the existing condition scenario modeling provide insight into the severity of the capacity constraints.

The risk of SSOs and/or basement backups associated with surcharging pipes was considered during the existing conditions scenario modeling efforts. There are four flow-constrained areas identified, Linn Avenue, Hazelwood Drive, 12th Street, and 13th Street/Division Street, where the capacity of existing sewer pipes need to be increased to accommodate flows due to the predicted amount and frequency of

EXHIBIT B

surcharging. While the SSMP identifies capital improvements to fix the capacity problems for each area to help ensure that the City has adequate capacity for conveying the design flows, the underlying data provides factual information that must inform the City's consideration of development proposals in areas that lack adequate sewer capacity.

In summary, four flow-constrained areas, Linn Avenue, Hazelwood Drive, 12th Street, and 13th Street/Division Street, have sewers that are undersized and currently operate beyond existing capacity, during both the 1- in 5-year and 1- in 10-year storm events. The sewer diameters need to be increased to fix the capacity problems to convey both the existing and future design flows. Any additional flows introduced into these sewers prior to fixing the capacity problems will increase surcharging and increase the potential for SSOs with flooding and/or basement backups.

Exhibit C, Technical Memorandum by Brown and Caldwell, dated May 15, 2014, provides the findings of the flow-constrained areas, including the flow analysis methodology, identification and location of gravity sewer pipes with capacity deficiencies, capital improvement projects to fix the capacity problems to ensure the City has adequate capacity in the sanitary sewer collection system to convey existing and future design flows.

Local Comprehensive Plan, City Code, and State and Federal Regulations

Local land use planning and State and Federal regulations require the City to plan and design the City's sanitary sewer system infrastructure to prevent sanitary sewer overflows (SSOs). In addition to those long range responsibilities, the City must determine whether adequate sewer capacity is currently available to serve any development when an application is made.

- The City's Comprehensive Land Use Plan requires that the rate of community growth and development may not exceed the community's ability to provide essential public services and facilities, including a sanitary sewer system.
- Policy 11.2.3 of the City's Comprehensive Plan requires that the City "...provide enough collection capacity to meet standards established by the Oregon Department of Environmental Quality (DEQ) to avoid discharging inadequately treated sewage into surfacewater;"
- Oregon City Municipal Code (OCMC) 17.56.010.A.3 requires, "The site and proposed development are timely, considering the adequacy of transportation, public facilities and services existing or planned for the area affected by the use."
- OCMC 17.62.050.A.14 requires, "Adequate public water and sanitary sewer facilities sufficient to serve the proposed or permitted level of development shall be provided. The applicant shall demonstrate that adequate facilities and services are presently available or can be made available concurrent with development..."
- DEQ does not allow sanitary sewer overflows (SSOs), discharge of raw sewage.
 - a. Definition: "Overflow" means any spill, release or diversion of sewage including:
 - (1) An overflow that results in a discharge to waters of the United States; and
 - (2) An overflow of wastewater, including a wastewater backup into a building, even if that overflow does not reach waters of the United States.
- The Clean Water Act (CWA) prohibits discharges of pollutants to waters of the United States. Unpermitted discharges from the sanitary sewer system to the waters of the United States constitute a violation of the CWA.

EXHIBIT B

Flow-Constrained Areas, Zoning, and Developable Lots

A moratorium will control the growth in the flow-constrained areas until a plan of correction can be identified. The four areas Linn Avenue, Hazelwood Drive, 12th St, and 13th Street/Division Street, include properties that are primarily zoned for residential. The overall impact area is approximately 645 acres, 11% of the City. The percentage of the impact area based on zoning districts includes approximately 86% residential, 8% institutional, and 5% mixed use. The area of developable lots located in the overall impact area is approximately 64.2 acres, 1% of the City. These are properties that are either vacant or have a high potential for redevelopment. The percentage of the developable area based on zoning districts includes approximately 95% residential (60.7 acres) and 5% mixed use (3.5 acres).

Exhibit A, Figures 1A, 1B, and 1C, shows the overall impact area, each flow-constrained area, and summary tables for total area by land use zoning district.

Exhibit D, Figures 2A, 2B, and 2C, shows the overall impact area, each flow-constrained area and developable lots within the flow-constrained area, and summary tables for total area of developable lots by land use zoning district.

Moratorium on Land Development and Building Permit Approvals

The moratorium on land development and building permit approvals is based on lack of sanitary sewer capacity for new development in the areas identified in the map attached as Exhibit A. All proposals for development of vacant properties or redevelopment of existing improved properties shall be reviewed by the City and the City shall determine if the proposed development will increase flows to the existing sanitary sewer system. Any development or redevelopment proposal that does not increase wastewater flows to these capacity constrained areas will be exempt and allowed to proceed.

While the moratorium is in effect, all development shall be subject to the following notice and restrictions:

1. Property owners and representatives shall be notified by staff of the moratorium at the earliest opportunity either during pre-application conferences or before. However, the failure to provide notice shall not alter the development restrictions imposed by this moratorium.
2. Land use permit applications will continue to be processed during the moratorium period, and if approved, appropriate conditions shall be imposed restricting development until the flow-constrained sewer condition is remedied.
3. No building or plumbing permit, and/or a public works sewer or construction plan permit applications may be accepted or issued until flow-constrained sewer condition is remedied.

This moratorium shall not apply to development where the Community Development Director and Public Works Director find through written findings, either through the applicable Type III or IV procedures or, if Type I or no procedure is identified, through a Type II procedure, that either:

1. The proposed development will not increase the sanitary sewer flows into the flow-constrained area; or
2. Where a solution is identified to reduce the identified surcharging conditions to acceptable levels. Some examples may include a development agreement providing for pipe replacement or joint effort amongst property owners to replace sections of pipe and reimbursement through a local improvement district.

*Public Works Engineering Memorandum
Sanitary Sewer Moratorium Executive Summary*

EXHIBIT B

Summary

1. Four flow-constrained areas, Linn Avenue, Hazelwood Drive, 12th Street, and 13th Street/Division Street, have some sewers that are undersized and currently operating beyond existing capacity, during both the 1- in 5-year and 1- in 10-year storm events. The sewers need to be increased in diameter to fix the capacity problems to convey both the existing and future design flows. Any additional flows introduced into these sewers prior to fixing the capacity problems will increase surcharging and increase the potential for flooding and/or basement backups.
2. Local, state and federal regulations require the City to take measures that ensure the prevention of sanitary sewer overflows, and the lack of sewer capacity infrastructure causes safety hazards and reduces the overall quality of life. The City finds a demonstrated need to adopt a moratorium on land development and building permit approvals in the four flow-constrained areas until the sanitary sewer capacity problems are fixed.
3. The area of developable lots located in the overall impact area is approximately 64.2 acres, 1% of the City. These properties are either vacant or have a high potential for redevelopment. Within the impact areas, the percentage of the 64.2 acres of developable lands based on zoning districts is approximately 95% residential (60.7 acres) and 5% mixed use (3.5 acres).

EXHIBIT C



6500 SW Macadam Avenue, Suite 200
Portland, OR 97239

T: 503.244.7005

F: 503.244.9095

Technical Memorandum

Prepared for: City of Oregon City, Oregon

Project Title: City of Oregon City Sanitary Sewer Master Plan

Project No.: 142029

Technical Memorandum

Subject: Constrained Area Evaluation

Date: May 15, 2014

To: Erik Wahrgren, City of Oregon City

From: James Hansen, BC-Portland

Prepared By: Janice Keeley, BC-Portland

Technical Reviewer: James Hansen, BC-Portland

Limitations:

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Section 1: Introduction

In 2012, the City of Oregon City (City) retained Brown and Caldwell to assist with the development of a new sanitary sewer master plan (SSMP). The new SSMP identifies capital improvements that are required for improving existing and future sanitary sewer service and for providing services to new areas as they are developed and annexed by the City. Initial modeling results for the SSMP found that the sewers in some areas of the city experienced surcharging within 5 feet of the manhole rim elevation and sewers in three areas of the city experienced flooding; i.e., sanitary sewer overflows (SSOs) under the existing conditions scenario. The Settler's Point Pumping Station is also undersized and unable to convey flows under the existing conditions scenario. Additional surcharging and flooding is predicted under the future conditions planning scenario. Results of the future conditions planning scenario were the focus of the SSMP document; however, potential and proposed redevelopment in areas contributing to the above noted constrained sewers required that the City take a closer look at the existing flow conditions in these areas. The results of the existing condition scenario modeling provide insight into the severity of the capacity constraints, which can be used as a basis for prioritizing improvements.

This technical memorandum (TM) presents the results of modeling the sanitary sewer collection system in nine flow-constrained areas for the existing conditions 1- in 5-year and 1- in 10-year, 24-hour storm events. The results of this modeling effort and TM will be used by the City to assess potential development in the areas contributing to constrained sewers, shown in Figure 1.

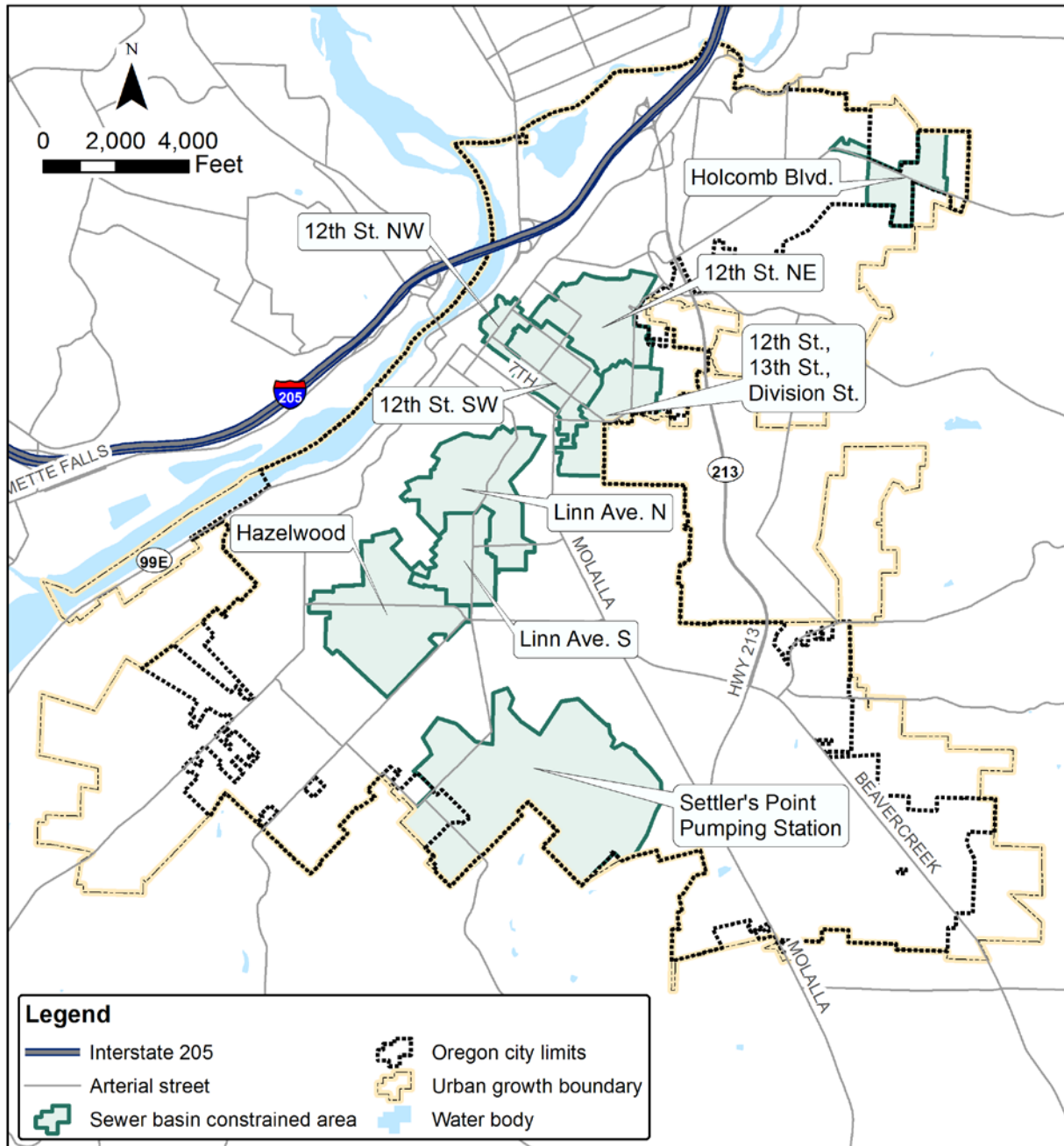


Figure 1. Constrained sewer contributing areas

Section 2: Analysis Methodology

Hydraulic analyses were conducted using Storm Water Management Model (SWMM) urban hydrology and conveyance system hydraulics software. A detailed explanation of how base flows and wet weather flows were developed is included in Section 3 and Appendix A of the SSMP. The SSMP uses the 1- in 10-year storm event (recurrence interval) as the basis of planning. This TM investigates the results of modeling both the 1- in 5-year and 1- in 10-year storm events.

2.1 Base Flows

Base flows include wastewater contributions from residential, commercial, and industrial sources and long-term groundwater infiltration that finds its way into sewers and manholes through cracks, joint separations, and other defects. Rainfall-derived infiltration/inflow (I/I) is not included in the base flow, whereas long-term groundwater is included. The groundwater contributions may include perched water sources that contribute groundwater infiltration during the wet season only. The flow monitoring record includes the groundwater sources so that with the addition of the wet weather I/I, the modeling represents the entire wet weather flow regime. Base flows are the same for the 1- in 5-year and 1- in 10-year storm events.

2.2 Wet Weather Flows

Wet weather flows are based on the results of flow monitoring during the wet season and pump station run time data. The wet weather data were used to calibrate the model such that modeled flow matched observations and measurements of actual flow in the collection system. Flow meter locations and model calibration are documented in Appendix A of the SSMP. Once calibrated, the model was used to simulate the two storm events and determine capacity deficiencies in the system. The rainfall depths associated with the two storm events are listed in Table 1.

Table 1. Storm Flow Volumes	
Storm event	Flow volume, inches
5-year, 24-hour	3.0
10-year, 24-hour	3.5

2.3 Assessment Criteria

Two criteria are used to evaluate whether pipes are too small to convey the design flow. The percent of capacity used is a ratio of maximum predicted flow (Q) to pipe capacity (Q_m) expressed as a percentage. The maximum predicted flow, Q , is the calculated peak flow in each pipe from the model. The pipe capacity (Q_m) is the theoretical pipe capacity according to Manning's equation, which assumes unpressurized flow (no surcharging). A percentage of greater than 100 indicates that the pipe is carrying more flow than is theoretically possible for unpressurized flow for a given pipe slope, diameter, and internal roughness. A percent capacity of greater than 100 is an indication of a surcharged pipe.

Unfortunately, the percent capacity alone cannot be used for determining pipe capacity due to the way that SWMM-based models report their data. In some situations, peak flows reported by the model exist for extremely short periods of time, sometimes only for seconds. Consequently, some of these peak flow values should not be used as the basis for pipe replacement. The second criterion, the ratio of depth of water to pipe diameter (d/D) is often more reliable. Use of the d/D ratio is described in more detail below.

In an unpressurized pipe, or a pipe with open-channel flow characteristics, the hydraulic grade line (HGL) is the elevation of the water surface within the pipe, or the d value. In a pipe that is surcharged (pressurized flow), the HGL is defined by the elevation to which water would rise in an open pipe, or manhole, as shown in Figure 2. In hydraulic terms, the HGL is equal to the pressure head measured above the invert of the pipe.

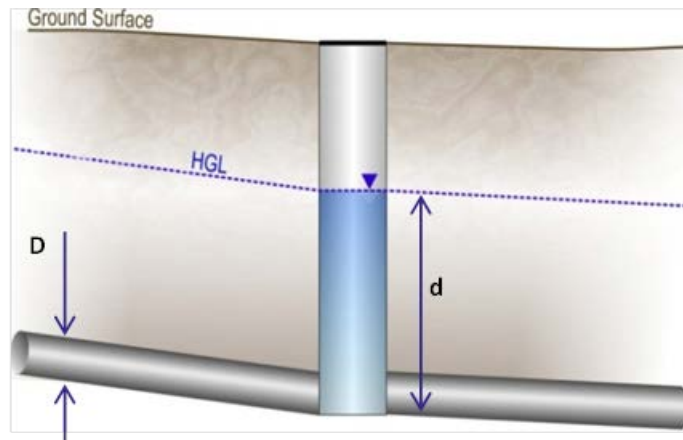


Figure 2. HGL for surcharged condition

The recommended approach for determining which pipes need to be upsized is to consider the amount and frequency of surcharging. For example, if minor surcharging (less than 1 to 2 feet) were to occur during large storm events only (i.e., the 1- in 10-year storm) and the surcharging did not impact property or create an SSO, City staff should not consider upsizing this pipe. However, if the frequency or amount of surcharging were to increase and endanger property or overflow, then the pipe should be upsized. Modeling of the 1- in 5-year storm event is used to help identify where surcharging occurs more frequently.

Pipes that surcharge frequently should be upsized since frequent surcharging has the potential to reduce their structural stability due to loss of pipe support from fine-grained soils washing into the sewer. Similarly, if the amount of surcharging is more than 1 or 2 feet, City staff should consider the amount of remaining freeboard (i.e., distance between water surface in manhole and ground surface, or to the elevation of basements in the area) with regard to the risk of SSOs or basement backups. This approach will help to ensure that the City has adequate capacity for conveying the design flows without spending more capital dollars than necessary.

In general, most sewers with d/D ratios of between 1 and 3 are not identified for replacement. City staff should monitor these sewers during large storm events to quantify the amount of surcharging that actually occurs. If the observed surcharging increases to the point of risking property or becoming an SSO, then the pipe or pipes should be upsized. Some pipes with minor surcharging are identified for replacement even though their d/D ratio is less than 1. Upsizing of these pipes will help to reduce more significant surcharging in the upstream system.

Section 3: Results

This section presents the results of the existing condition scenario 1- in 10-year and 1- in 5-year modeling for the constrained areas. Each sub-section describes a constrained area and includes a description of surcharged pipes, locations for potential SSOs (flooding), undersized pipes, and costs to upsize pipes.

3.1 Linn Avenue

Linn Avenue is located south of downtown Oregon City and parallels Singer Creek. The existing 12-inch gravity sewer within the Linn Avenue roadway alignment from Summit Street to 4th Street is discussed in this section.

3.1.1 Existing Condition: 1- in 10-year Modeling Results

The 1- in 10-year storm event modeling was performed with the existing conditions scenario (i.e., 2014 conditions). This storm event was modeled first since the 1- in 10-year storm is consistent with the modeling performed for the SSMP.

The model-predicted surcharging and flooding for the 1- in 10-year, existing conditions scenario, is shown in Figure 3. Surcharging starts at manhole (MH) 11564 and increases upstream to MH 11570. Surcharging is reduced in the steeper segment from MH 11570 to MH 11547, but occurs again in the segment from MH 11547 to MH 11546. In the profile view, Figure 4, the HGL is less than 5 feet from the rim elevations of MHs 11569, 13748, 11570, and 11546.

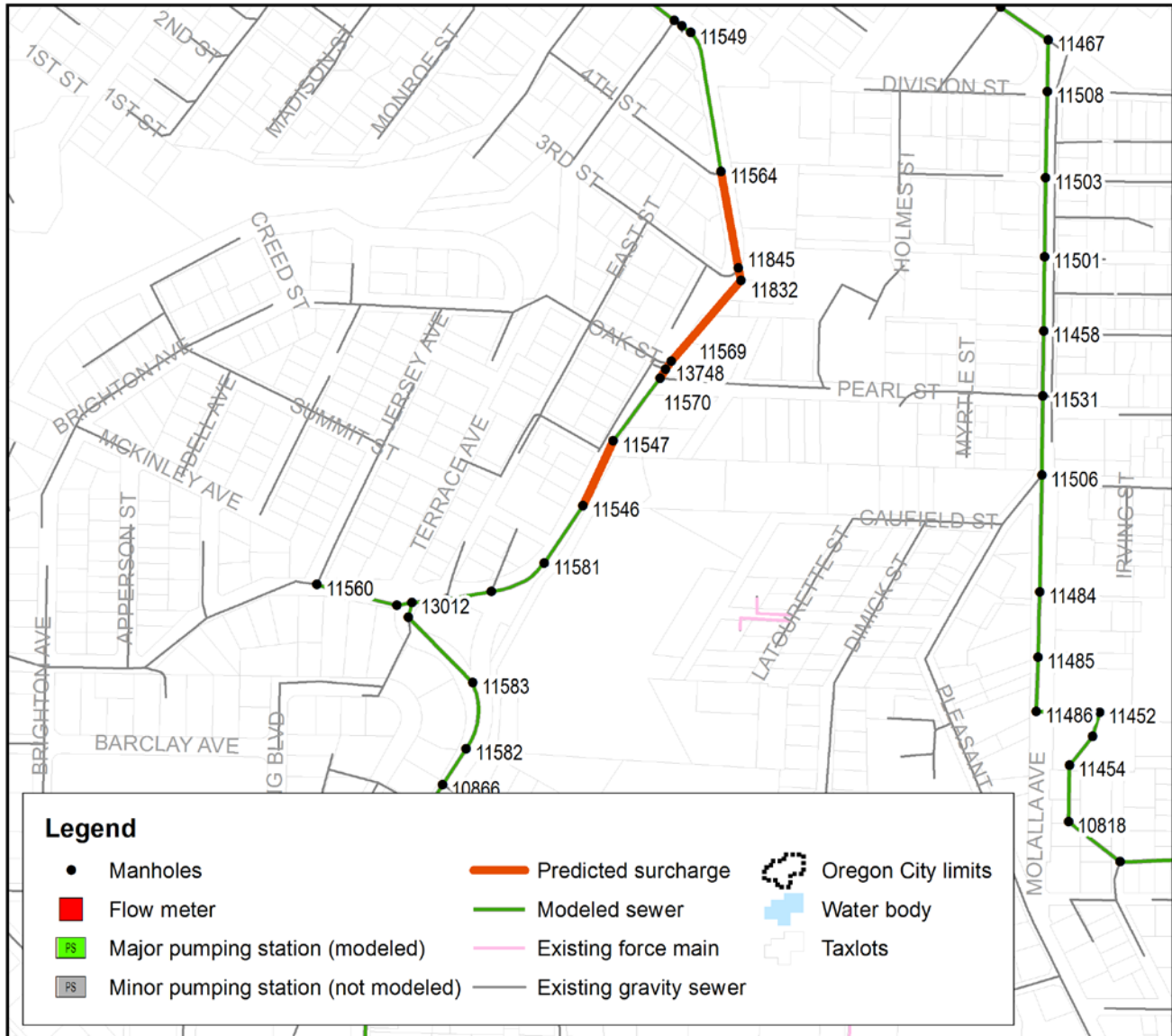


Figure 3. Surcharging and flooding along Linn Avenue sewer, 1- in 10-year storm event

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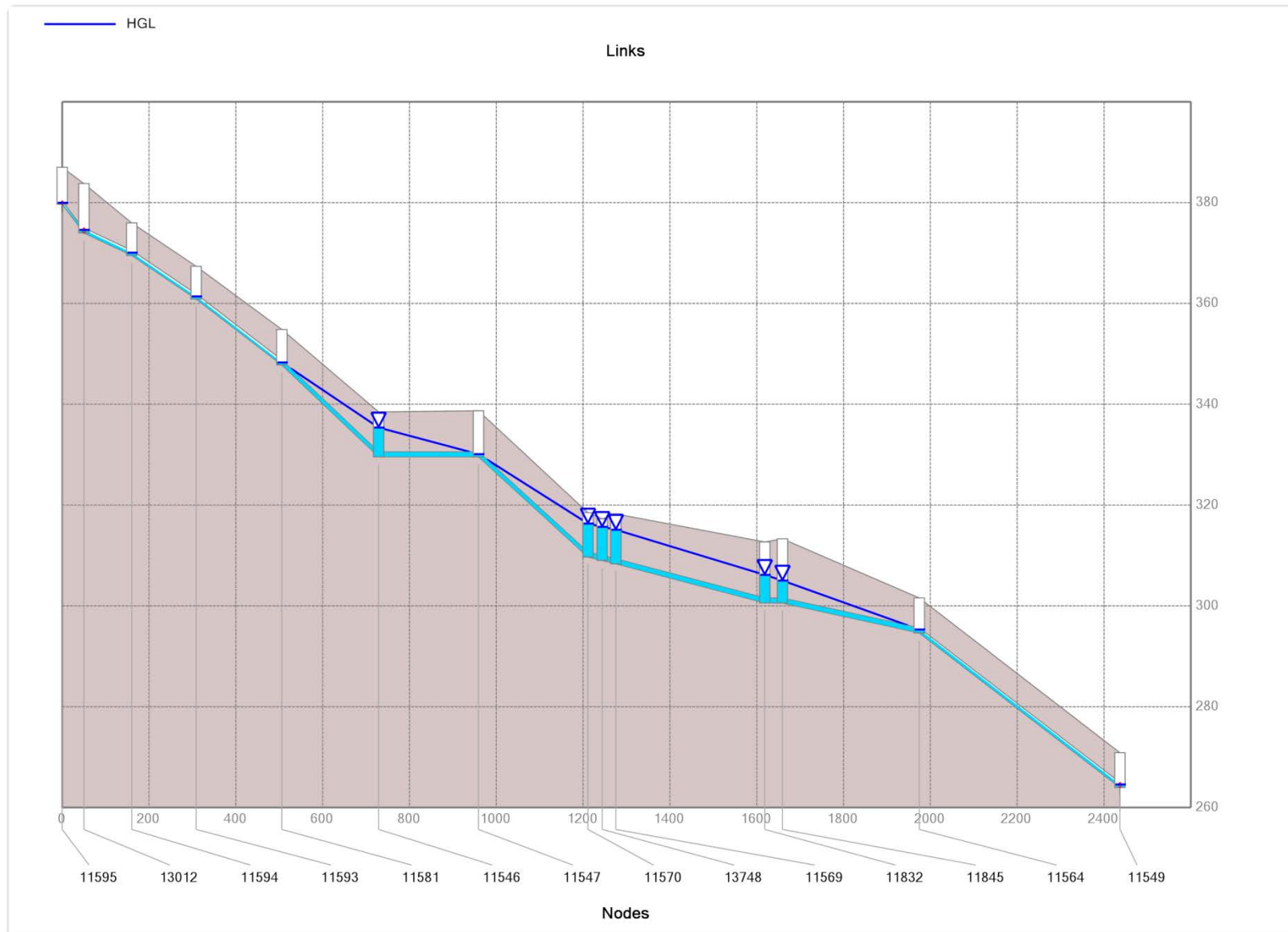


Figure 4. Linn Avenue sewer profile, 1- in 10-year storm event

3.1.2 Existing Condition: 1- in 5-year Modeling Results

The 1- in 5-year storm event modeling was performed with the existing conditions scenario (i.e., 2014 conditions). This modeling helps to identify the sewers that will surcharge more frequently than the 1- in 10-year design storm used in the SSMP. As shown in Figure 5, the surcharging extends over the same range of pipes as with the 1- in 10 year storm event modeling, but the surcharging depths are reduced. However, the HGL is less than 5 feet from the rim elevation of MH 11546.

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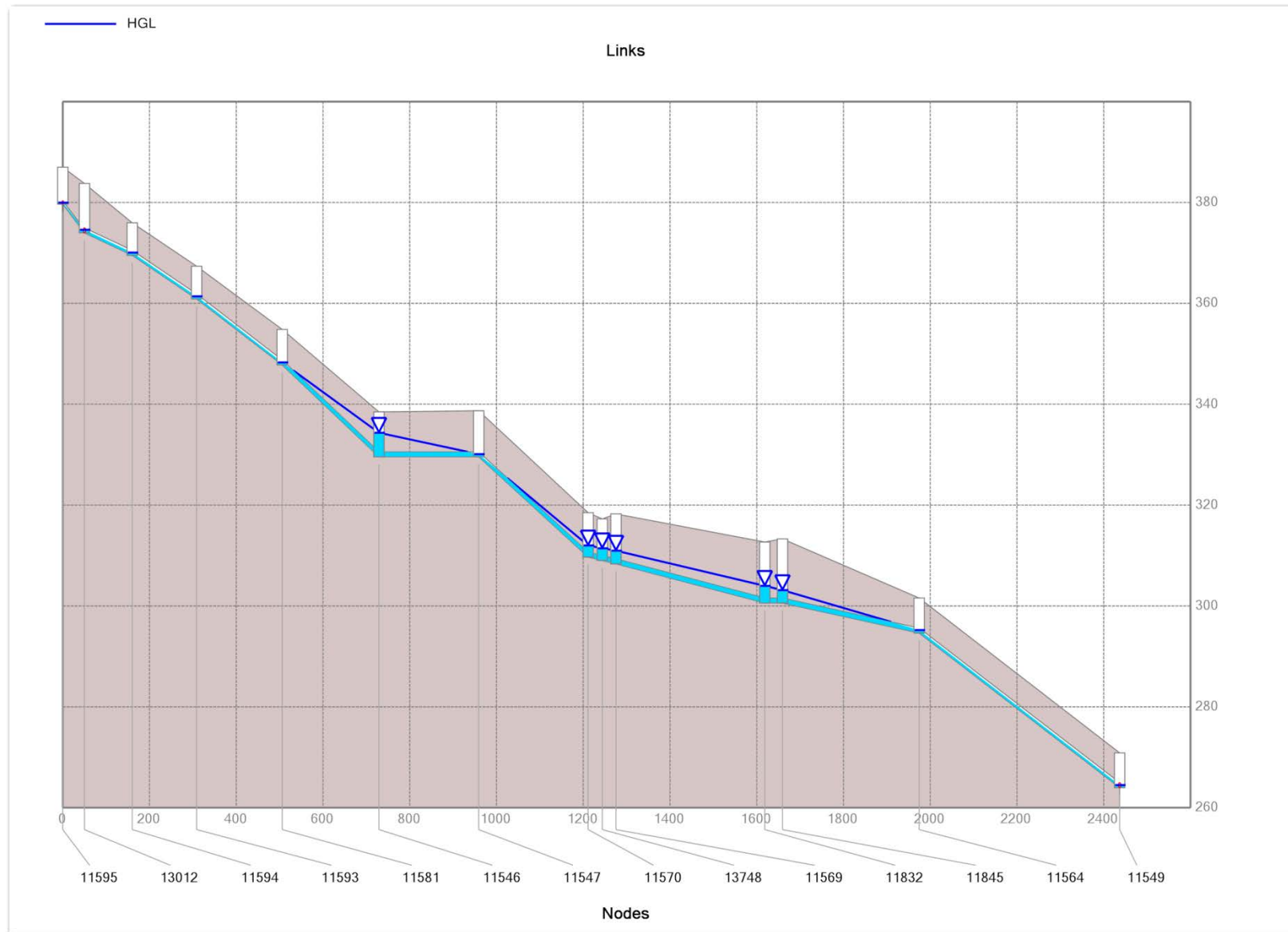


Figure 5. Linn Avenue sewer profile, 1- in 5-year storm event

3.1.3 Required Improvements: Existing Condition

There is one sewer segment that would need to be replaced to relieve the predicted surcharging and flooding for the existing condition, 1- in 5-year storm event, which is shown in Figure 6. Please note that not all pipes identified as surcharging need to be replaced since not all surcharging is excessive and the replacement of downstream constraints often reduces the surcharging in upstream sewers.

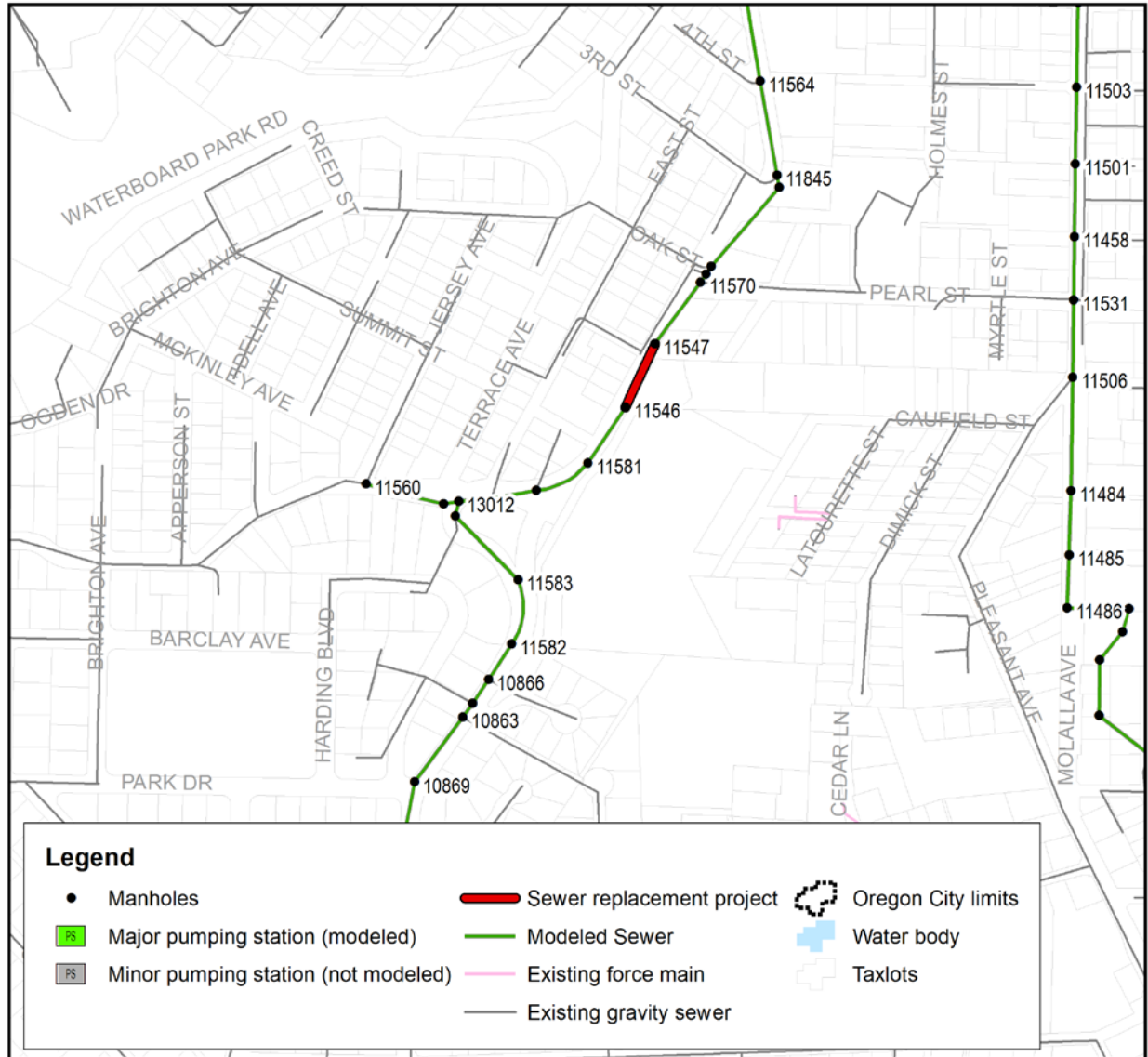


Figure 6. Required Linn Avenue sewer upgrades, 1- in 5-year storm event

Costs to upsize the sewers identified in Figure 6 are listed in Table 2. The costs are based on sizing replacement sewers to convey the 1- in 5-year storm event under existing conditions. Actual replacement of any of these pipes will be based on the 10-year storm event modeling for the future condition which is listed in Table 3. Table 2 does not include the benefits of potential I/I reduction measures.

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Table 2. Sewer Upsizing Requirements – 5-year Storm Event, Existing Conditions Scenario						
Pipe ID	Owner	Length, feet	Existing pipe diameter, inches	Upsize diameter, inches	Current total cost, \$	SSMP project name
11546_11547	OC	230	12	15	101,788	(4) Linn Avenue
Total all pipe replacements					101,788	

The costs listed in Table 3 are based on sizing of replacement sewers to convey the 1- in 10-year storm event under the existing conditions scenario. The required pipe size does not change from what is required for the 1- in 5-year storm modeling, but the number of sewers that require replacement increases. Upsizing the pipes listed in Table 3 will convey the 1- in 10-year storm under existing conditions with little surcharging and no flooding, as shown in Figure 7.

Table 3. Sewer Upsizing Requirements – 10-year Storm Event, Existing Conditions Scenario						
Pipe ID	Owner	Length, feet	Existing pipe diameter, inches	Upsize diameter, inches	Current total cost, \$	SSMP project name
11546_11547	OC	230	12	15	101,788	(4) Linn Avenue
11832_11845	OC	41	12	15	24,341	(4) Linn Avenue
11845_11564	OC	315	12	15	139,464	(4) Linn Avenue
Total all pipe replacements					265,590	

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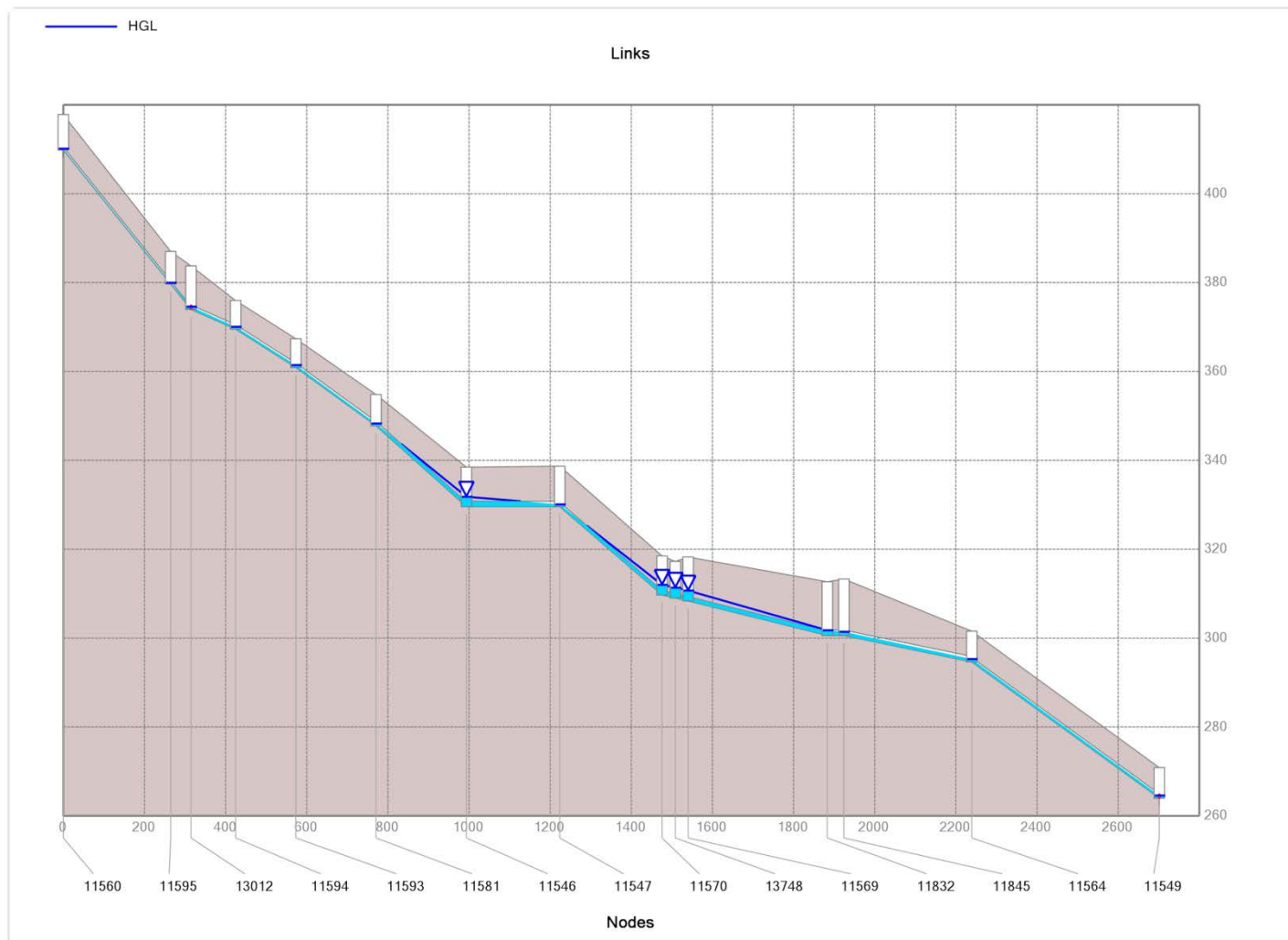


Figure 7. Linn Avenue sewer profile, 1- in 10-year storm event, pipes upsized

3.1.4 Linn Avenue Recommendations

Portions of the Linn Avenue sewer are undersized and currently operating beyond existing capacity, including the 1- in 5-year and 1- in 10-year storm events. The sewers in this area need to be increased in diameter and/or the flows need to be reduced via an I/I abatement program. **Any additional flows introduced into this sewer prior to implementation of the capital improvement recommendations will increase surcharging and increase the potential for flooding and/or basement backups in the area.** The sizing of replacement sewers should be based on the recommendations of the SSMP as determined to convey the future conditions scenario, 1- in 10-year storm event.

3.2 Hazelwood Drive

Hazelwood Drive is located south of downtown Oregon City, north of Warner-Parrott Road. The results in this section are also described in the Hazelwood Area (Warner-Parrott Road) Modeling TM, (Brown and Caldwell, April 28, 2014).

3.2.1 Existing Condition: 1- in 10-year Modeling Results

The 1- in 10-year storm event modeling was performed with the existing conditions scenario (i.e., 2014 conditions). This storm event was modeled first since the 1- in 10-year storm is consistent with the modeling performed for the SSMP.

The model predicted surcharging and flooding for the 1- in 10-year, existing conditions scenario, as shown in Figure 8. Surcharging starts at approximately MH 10928 and increases in the upstream direction until the HGL breaks the ground surface at MH 18025. At MH 18025, flooding is predicted and nearly occurs at MH 11046, as shown in the profile view in Figure 9. As shown, the HGL is high throughout the study area and flooding is predicted at MH 18025. City staff have observed significant surcharging along Warner-Parrott Road and in the sewer that runs up Shenandoah Drive and into Joyce Court. The five properties highlighted in Figure 10 experienced basement flooding during the storm event on January 2, 2009, and two of these same properties again had flooding during the storm event on January 19 to 20, 2012.

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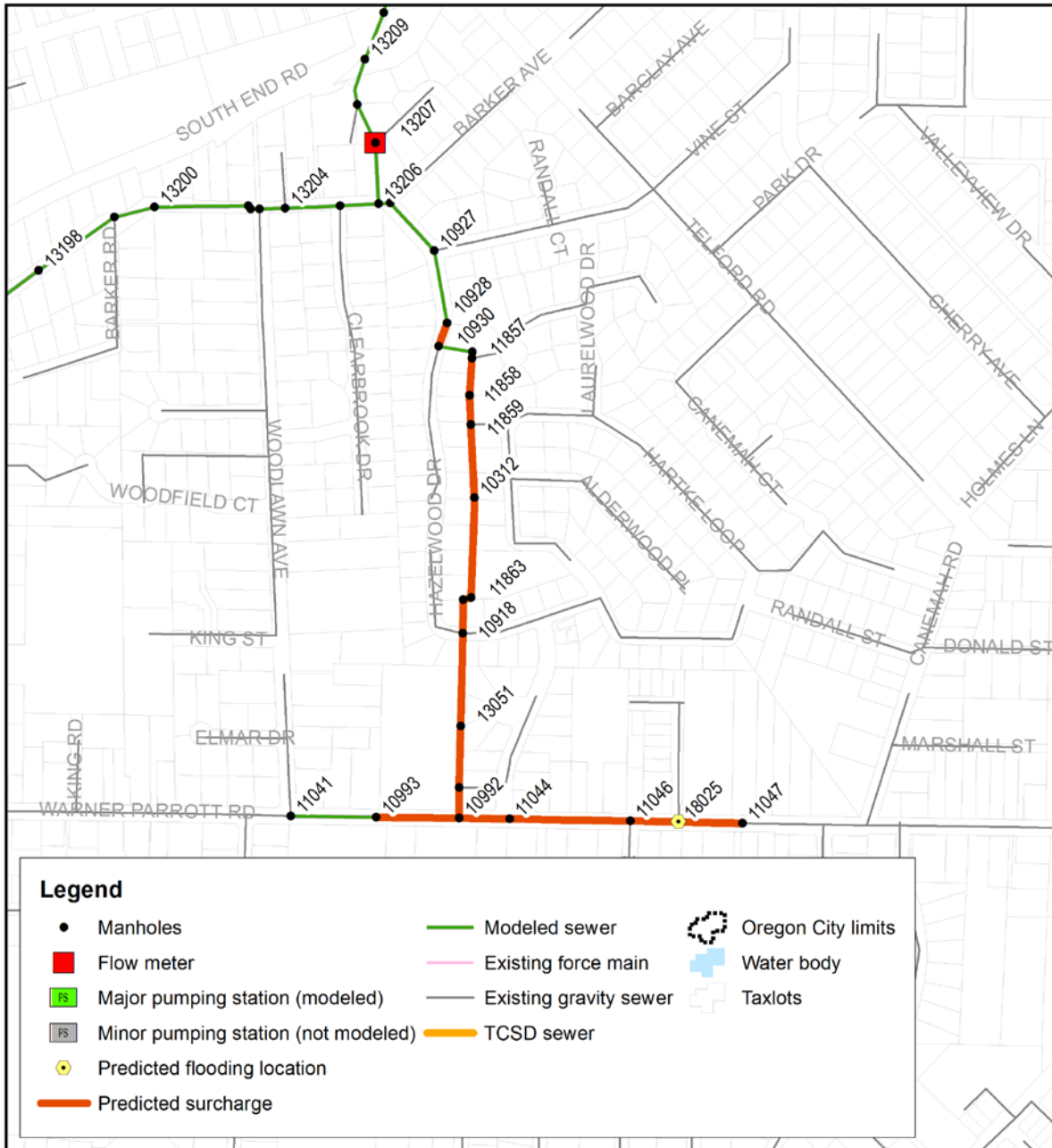


Figure 8. Surcharging and flooding along Hazelwood sewer, 1-in 10-year storm event

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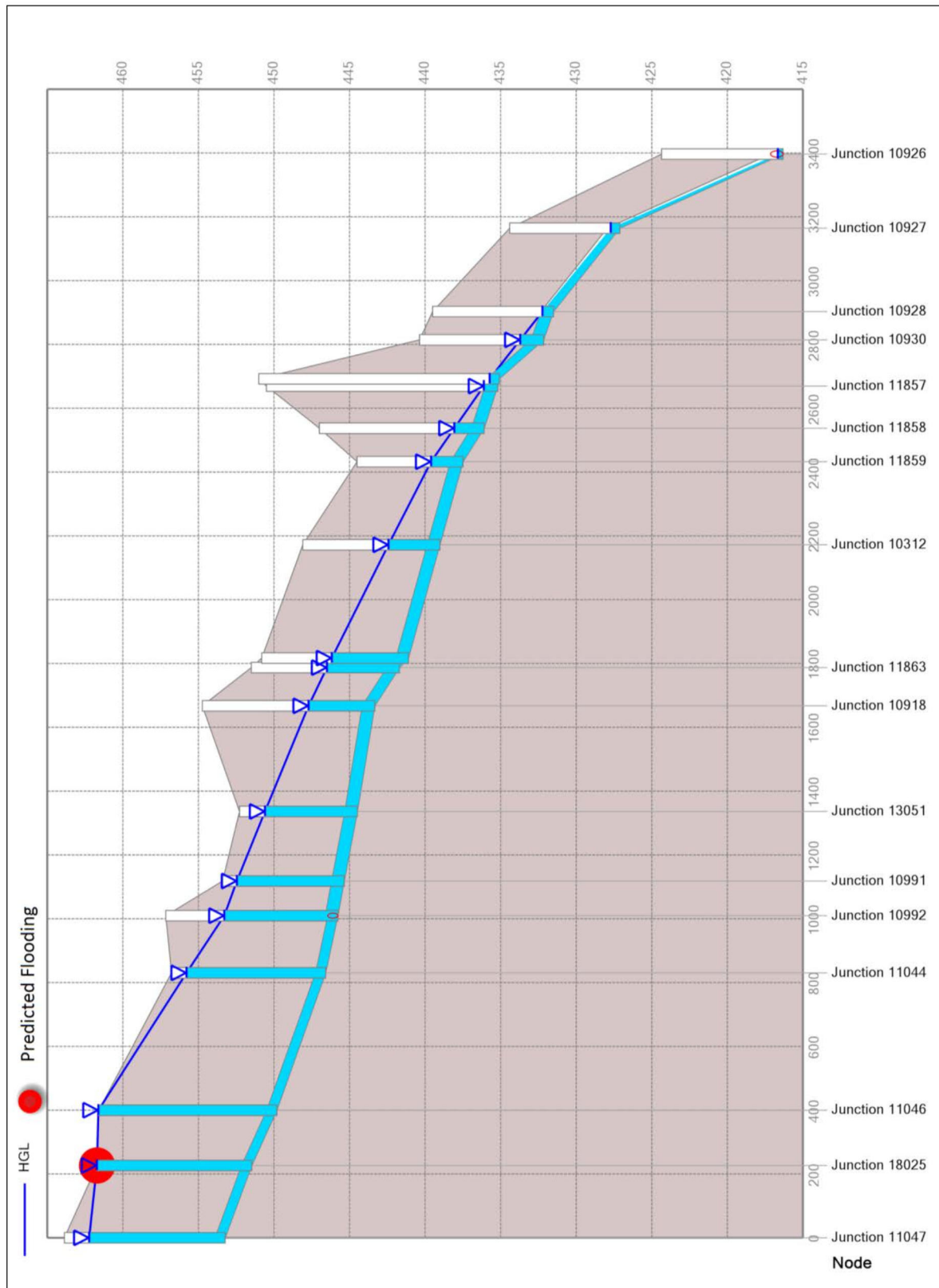


Figure 9. Hazelwood sewer profile, 1-in 10-year storm event

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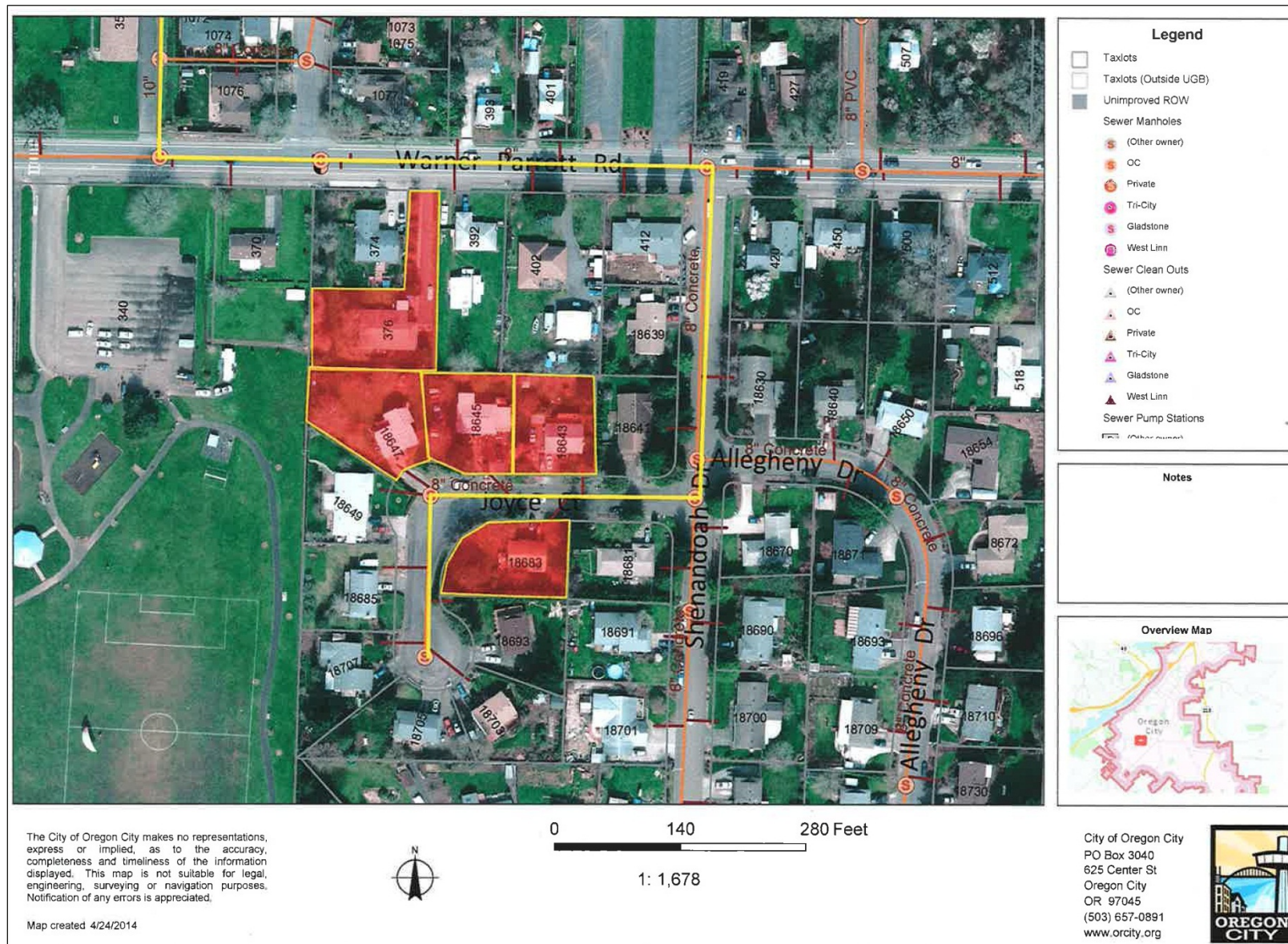


Figure 10. Recorded basement flooding

3.2.2 Existing Condition: 1- in 5-year Modeling Results

The 1- in 5-year storm event modeling was performed with the existing conditions scenario (i.e., 2014 conditions). This modeling helps to identify the sewers that will surcharge more frequently than the 1- in 10-year design storm used in the SSMP. As shown in Figure 11, the profile is nearly the same as the 1- in 10-year storm event modeling. The HGL is only slightly lower for the 5-year event than the larger 10-year storm. Surcharging extends over the same range of pipes and flooding occurs at the same location as with the 1- in 10-year storm event modeling.

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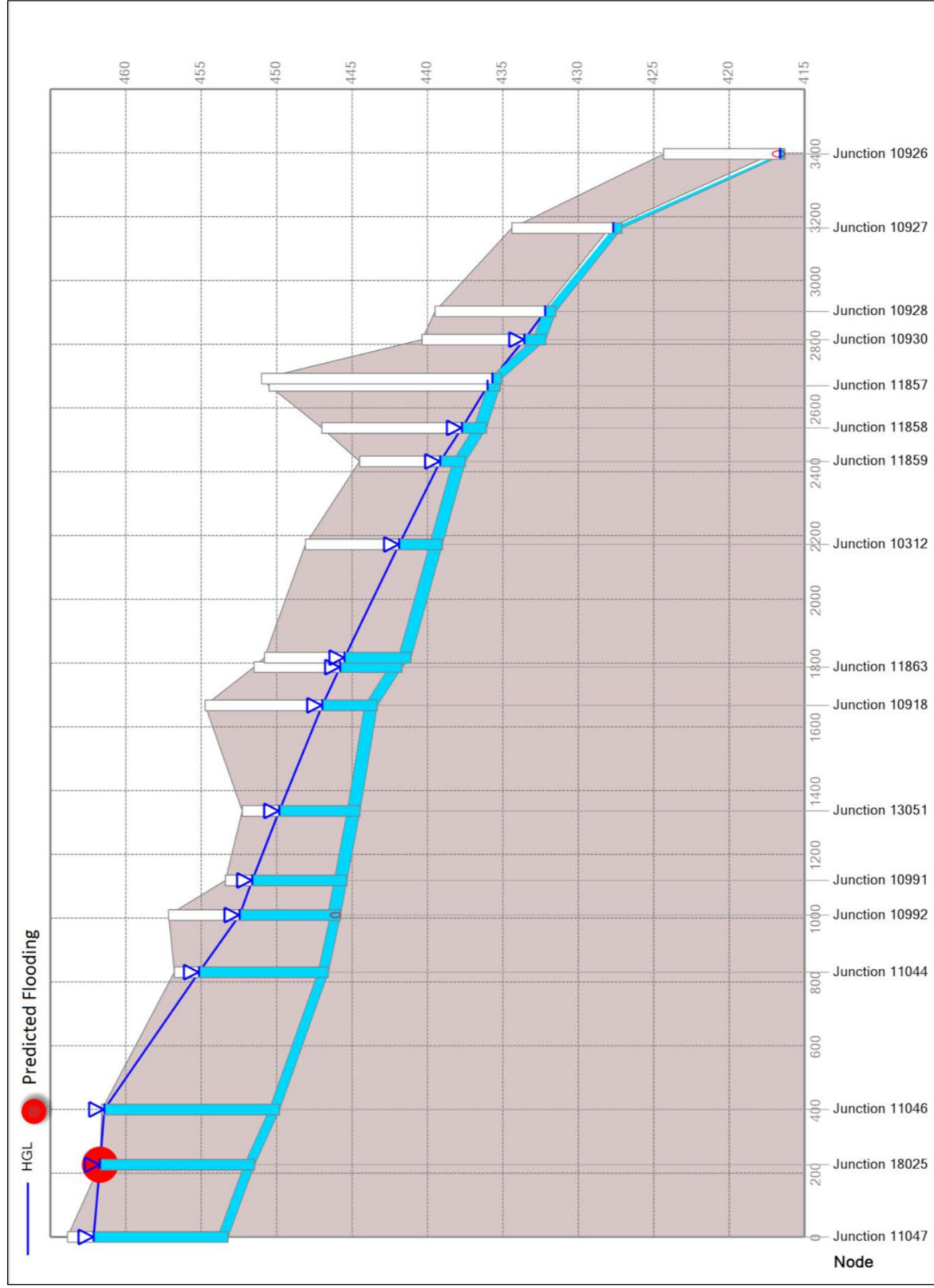


Figure 11. Hazelwood sewer profile, 1- in 5-year storm event

3.2.3 Required Improvements: Existing Conditions

Sewers that would need to be replaced to relieve the predicted surcharging and flooding for the existing condition, 1- in 5-year storm event are shown in Figure 12. Please note that not all pipes identified as surcharging need to be replaced since not all surcharging is excessive and the replacement of downstream constraints often reduces the surcharging in upstream sewers.

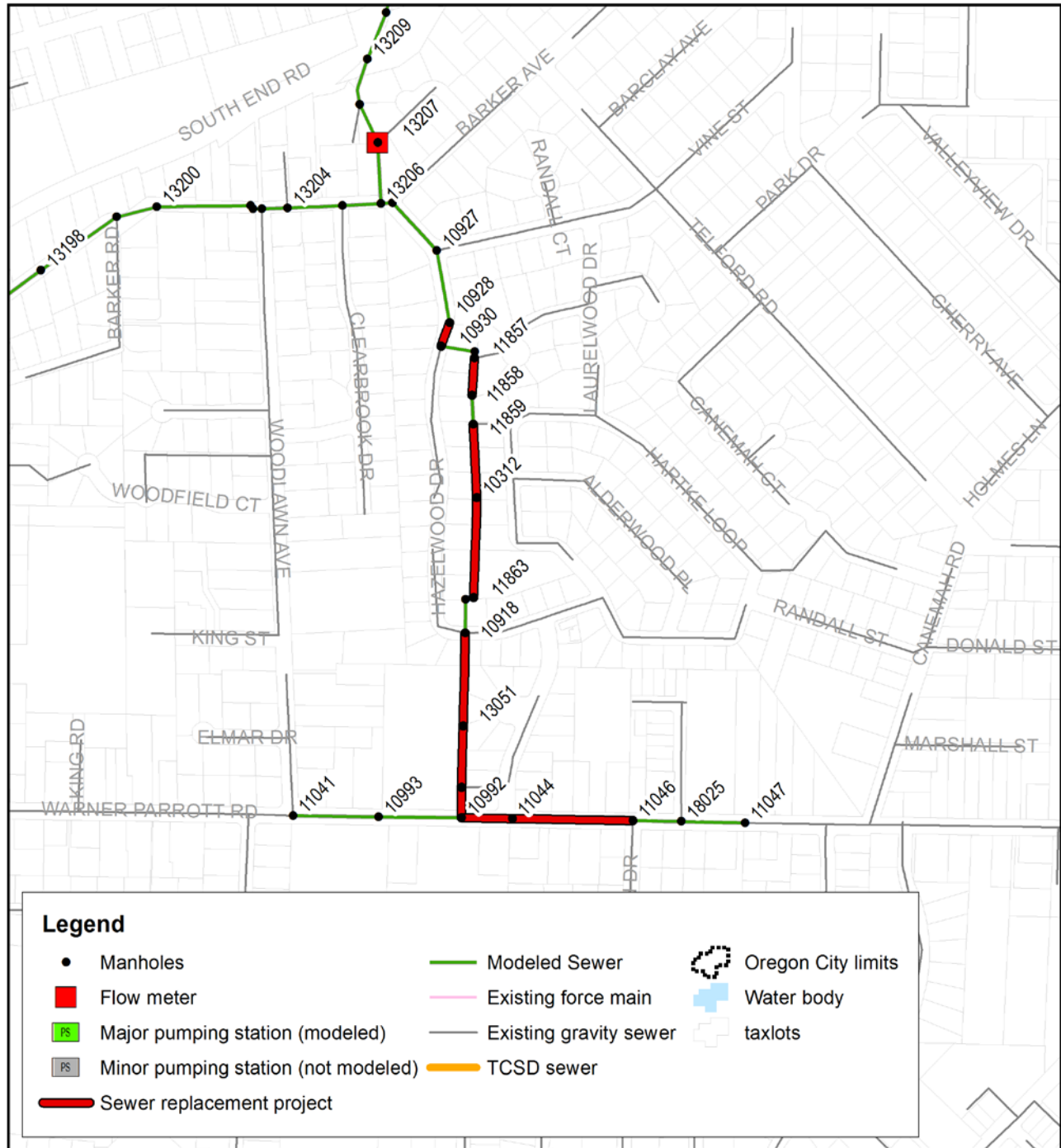


Figure 12. Required Hazelwood sewer upgrades, 1- in 5-year storm event

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Costs to upsize the sewers identified in Figure 12 are listed in Table 4. The costs are based on sizing replacement sewers to convey the 1- in 5-year storm event under existing conditions. Actual replacement of any of these pipes will be based on the 10-year storm event modeling for the future condition. Table 4 does not include the benefits of potential I/I reduction measures.

Pipe ID	Owner	Length, feet	Existing pipe diameter, inches	Upsize diameter, inches	Current total cost, \$	SSMP project name
10930_10928	OC	89	10	12	35,100	Hazelwood
11858_11857	OC	132	10	12	83,522	Hazelwood
10312_11859	OC	260	10	12	127,524	Hazelwood
11862_10312	OC	355	10	12	173,929	Hazelwood
13051_10918	OC	331	10	12	162,156	Hazelwood
10991_13051	OC	218	10	12	106,766	Hazelwood
10992_10991	OC	109	10	12	53,202	Hazelwood
11044_10992	OC	179	8	10	92,088	Hazelwood
11046_11044	OC	431	8	10	221,253	Hazelwood
Total all pipe replacements					1,055, 539	

The costs listed in Table 5 are based on sizing of replacement sewers to convey the 1- in 10-year storm event under the existing conditions scenario. The required pipe sizes do not change from what is required for the 1- in 5-year storm modeling, but the number of sewers that require replacement increases. Upsizing the pipes listed in Table 5 will convey the existing condition 1- in 10-year storm with little surcharging and no flooding, as shown in Figure 13.

Pipe ID	Owner	Length, feet	Existing pipe diameter, inches	Upsize diameter, inches	Current total cost, \$	SSMP project name
10928_10927	OC	261	10	12	103,447	Hazelwood
10930_10928	OC	89	10	12	35,100	Hazelwood
11857_11856	OC	23	10	12	18,052	Hazelwood
11858_11857	OC	132	10	12	83,522	Hazelwood
11859_11858	OC	105	10	12	51,370	Hazelwood
10312_11859	OC	260	10	12	127,524	Hazelwood
11862_10312	OC	355	10	12	173,929	Hazelwood
11863_11862	OC	30	10	12	14,549	Hazelwood
10918_11863	OC	120	10	12	75,758	Hazelwood
13051_10918	OC	331	10	12	162,156	Hazelwood
10991_13051	OC	218	10	12	106,766	Hazelwood
10992_10991	OC	109	10	12	53,202	Hazelwood
11044_10992	OC	179	8	10	92,088	Hazelwood
11046_11044	OC	431	8	10	221,253	Hazelwood
Total all pipe replacements					1,318,715	

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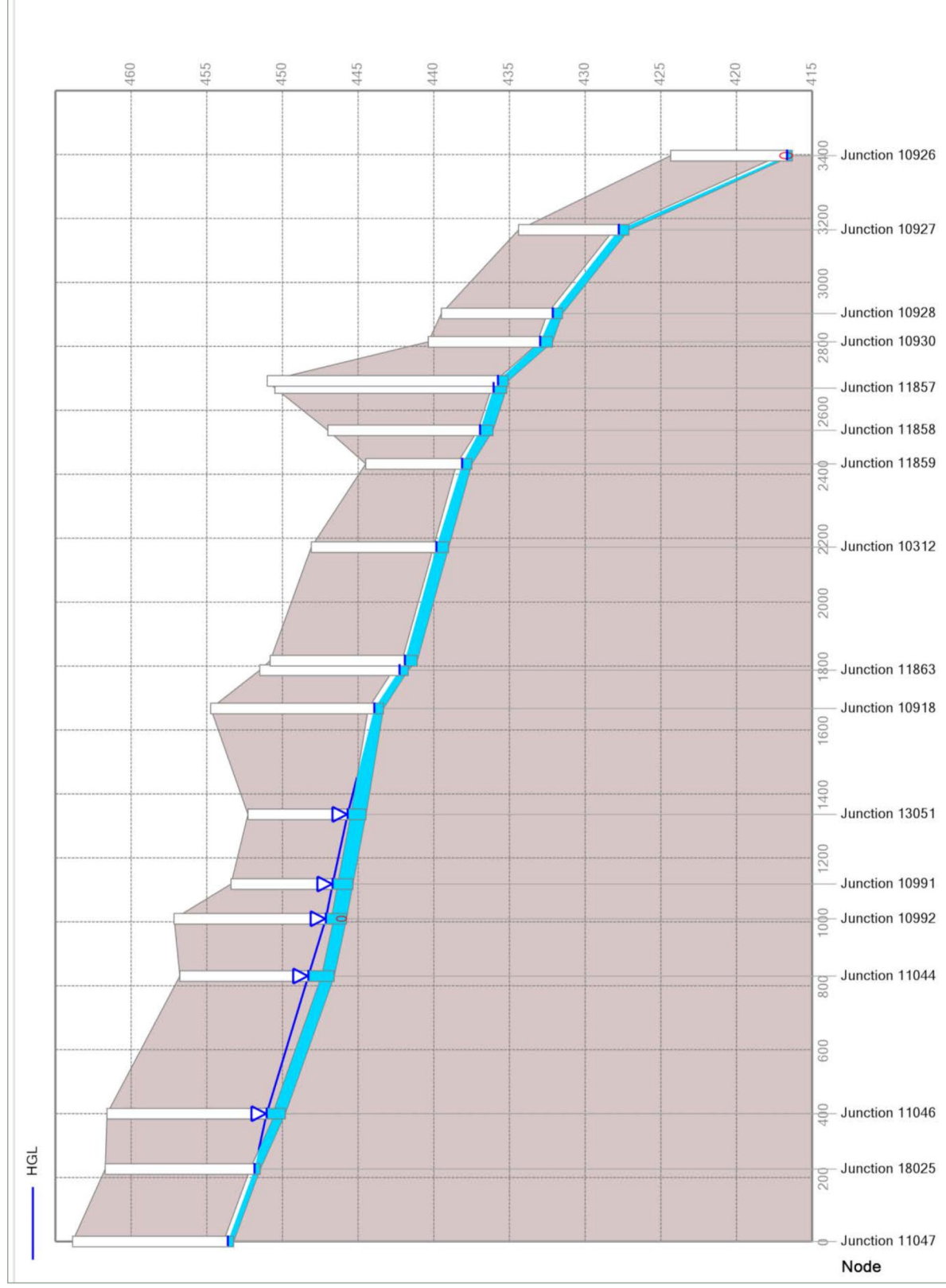


Figure 13. Hazelwood sewer profile, 1- in 10-year existing conditions storm event, pipes upsized

Additional analyses were performed to determine if upsizing only a few of the sewers (either upstream or downstream) would reduce the surcharging to an acceptable level and eliminate the potential for flooding. Modeled pipes were upsized between MH 11046 and MH 10918. The pipe upsizing eliminated the flooding at MH 18025 but produced flooding at MH 13051, a manhole farther downstream. This is attributed to the upsizing of the upstream pipes which allows more flow to be moved downstream, thereby increasing the surcharging and flooding downstream of the improvements. Conversely, modeled pipes were upsized for several of the downstream sewers from MH 10928 through MH 10991. No flooding was predicted for this alternative, but excessive surcharging still was found at MH 11046 and MH 18025. In summary, all sewers identified in Table 5 need to be upsized to reduce surcharging effectively and eliminate the potential for flooding under existing conditions.

3.2.4 Hazelwood Recommendations

Portions of the Hazelwood Drive sewer are undersized and currently operating beyond existing capacity, including the 1- in 5-year and 1- in 10-year storm events. The sewers in this area need to be increased in diameter and/or the flows need to be reduced via an I/I abatement program. **Any additional flows introduced into this sewer prior to implementation of the capital improvement recommendations will increase surcharging and increase the potential for flooding and/or basement backups in the area.** The sizing of replacement sewers should be based on the recommendations of the SSMP as determined to convey the future conditions scenario, 1- in 10-year storm event.

3.3 12th Street

The 12th Street sewer refers to the gravity sewers located in downtown Oregon City on 12th Street from Jefferson Street to Highway (Hwy) 99E and also the two tributary sewers on Madison and Monroe Streets.

3.3.1 Existing Condition: 1- in 10-year Modeling Results

The 1- in 10-year storm event modeling was performed with the existing conditions scenario (i.e., 2014 conditions). This storm event was modeled first since the 1- in 10-year storm is consistent with the modeling performed for the SSMP.

Model-predicted surcharging and flooding for the 1- in 10-year, existing conditions scenario, is shown in Figure 14. A significant decrease in slope from MH 11402 to the Tri-City Service District (TCSD) sewer results in surcharging from MH 11402 to MH 11397 and flooding at MH 11402 on Center Street. In the profile view on Figure 15, the HGL is shown from Madison Street on the northeast side of 12th Street to MH 11387 (Meter 5). In the profile view on Figure 16, the HGL is shown from Monroe Street on the southwest side of 12th Street to MH 11387 (Meter 5).

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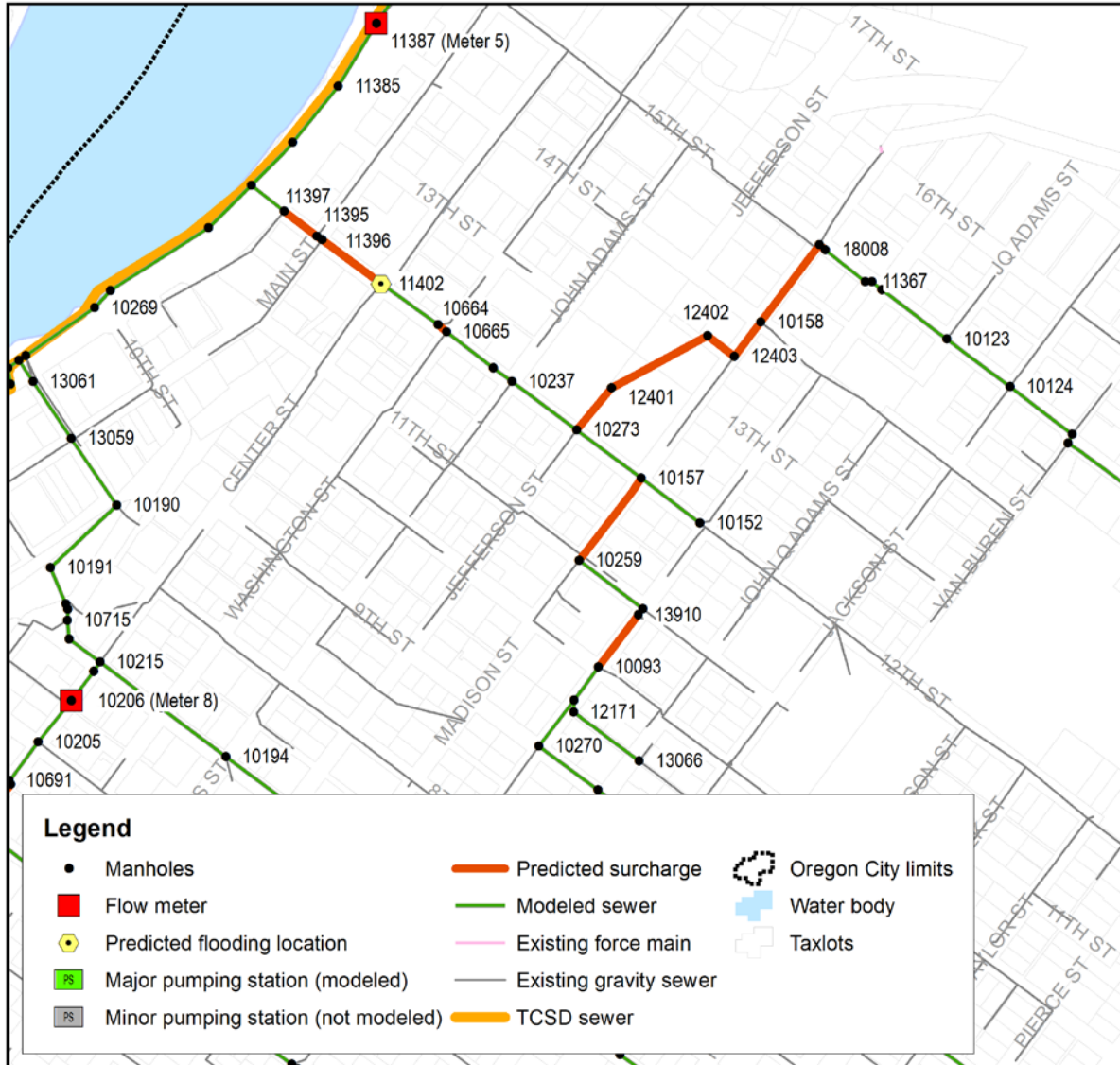


Figure 14. Surcharging and flooding along 12th Street sewer, 1- in 10-year storm event

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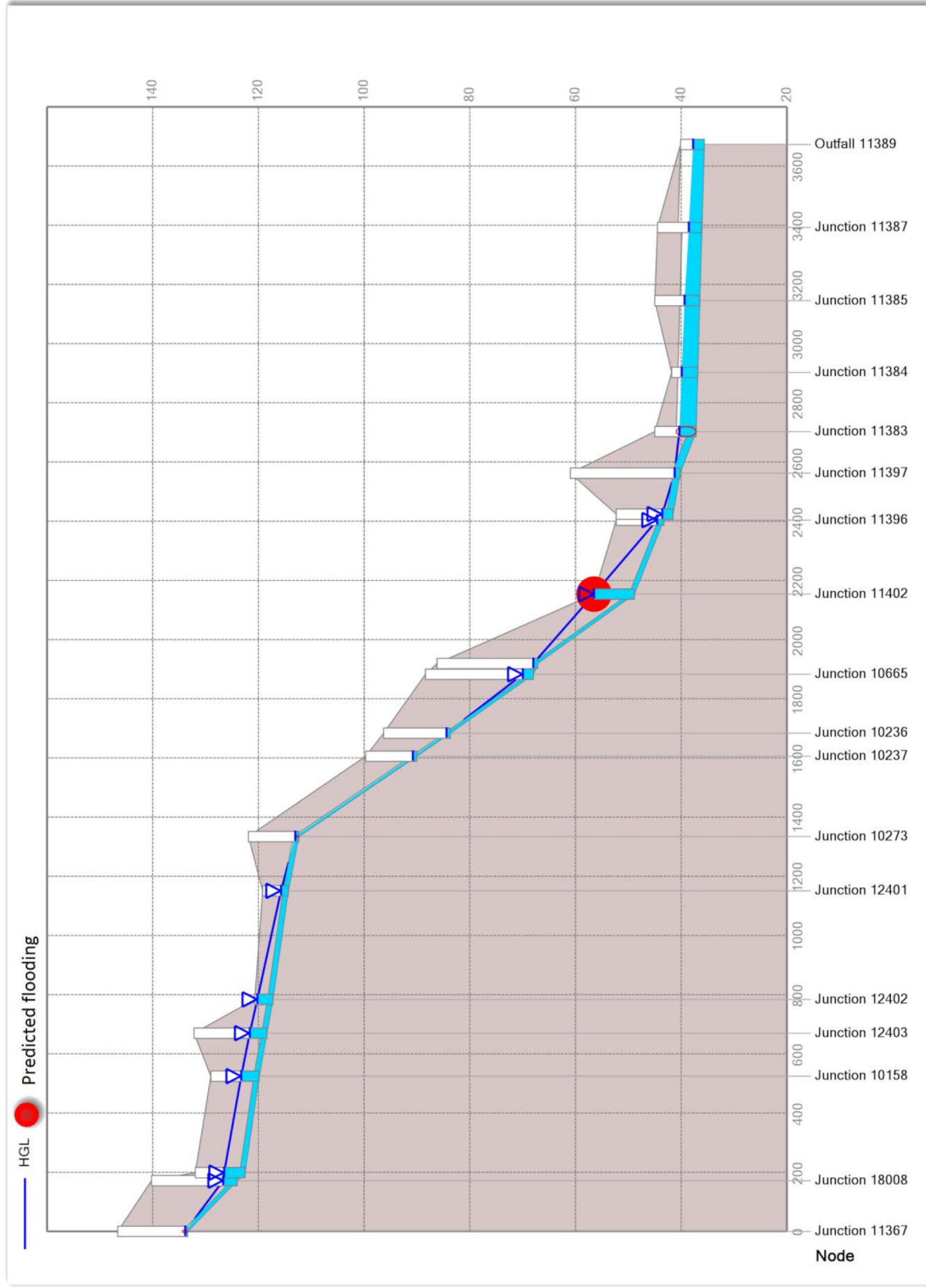


Figure 15. 12th Street sewer profile (1 of 2), 1- in 10-year storm event

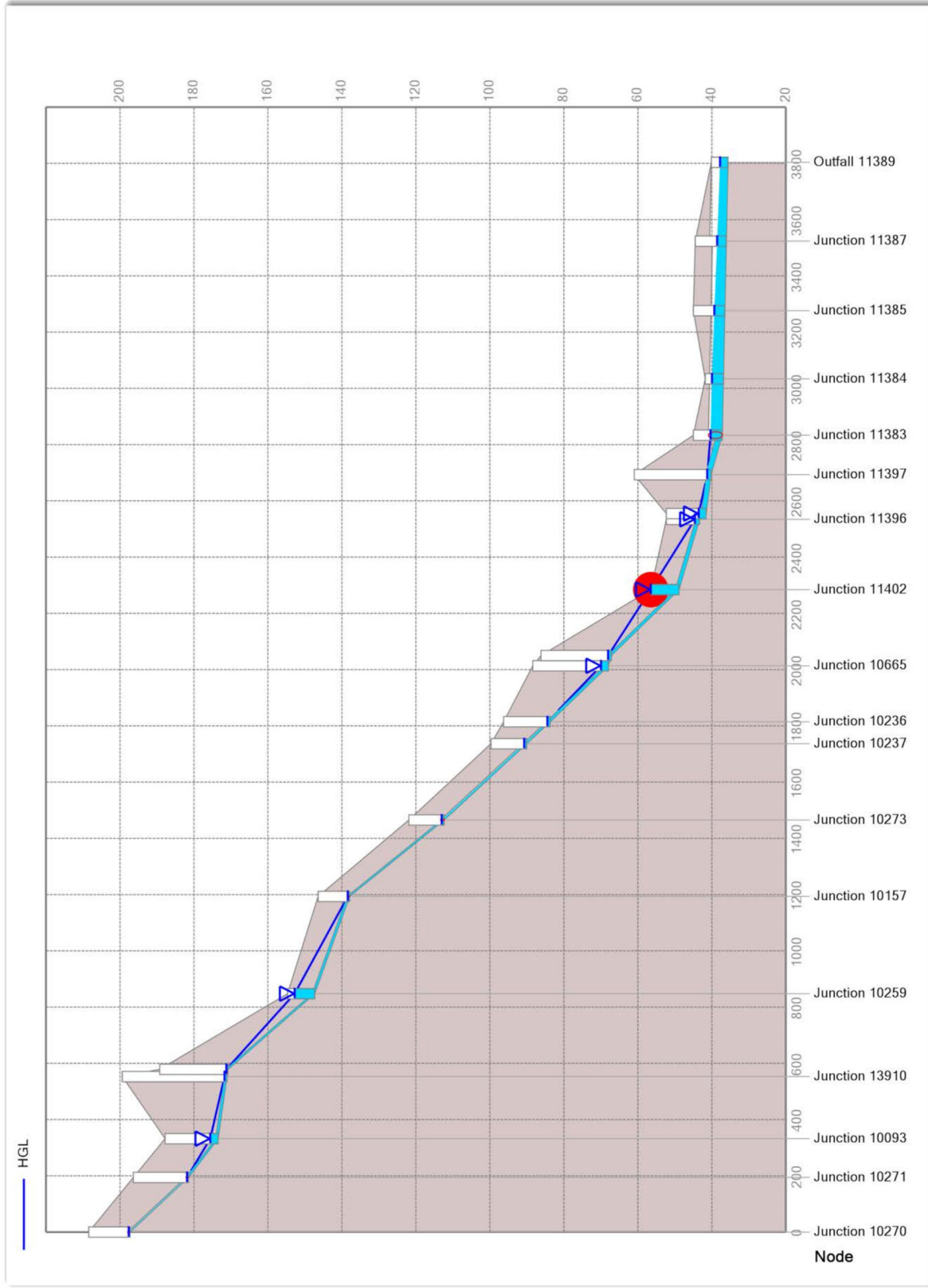


Figure 16. 12th Street sewer profile (2 of 2), 1- in 10-year storm event

3.3.2 Existing Condition: 1- in 5-year Modeling Results

The 1- in 5-year storm event modeling was performed with the existing conditions scenario (i.e., 2014 conditions). This modeling helps to identify the sewers that will surcharge more frequently than the 1- in 10-year design storm used in the SSMP. As shown in Figures 17 and 18, the 12th Street profiles are nearly the same as the 1- in 10-year storm event modeling. The HGL is only slightly lower for the 5-year event than for the larger 10-year storm. Surcharging extends over the same range of with the 1- in 10-year storm event modeling, however, flooding is no longer predicted at MH 11402.

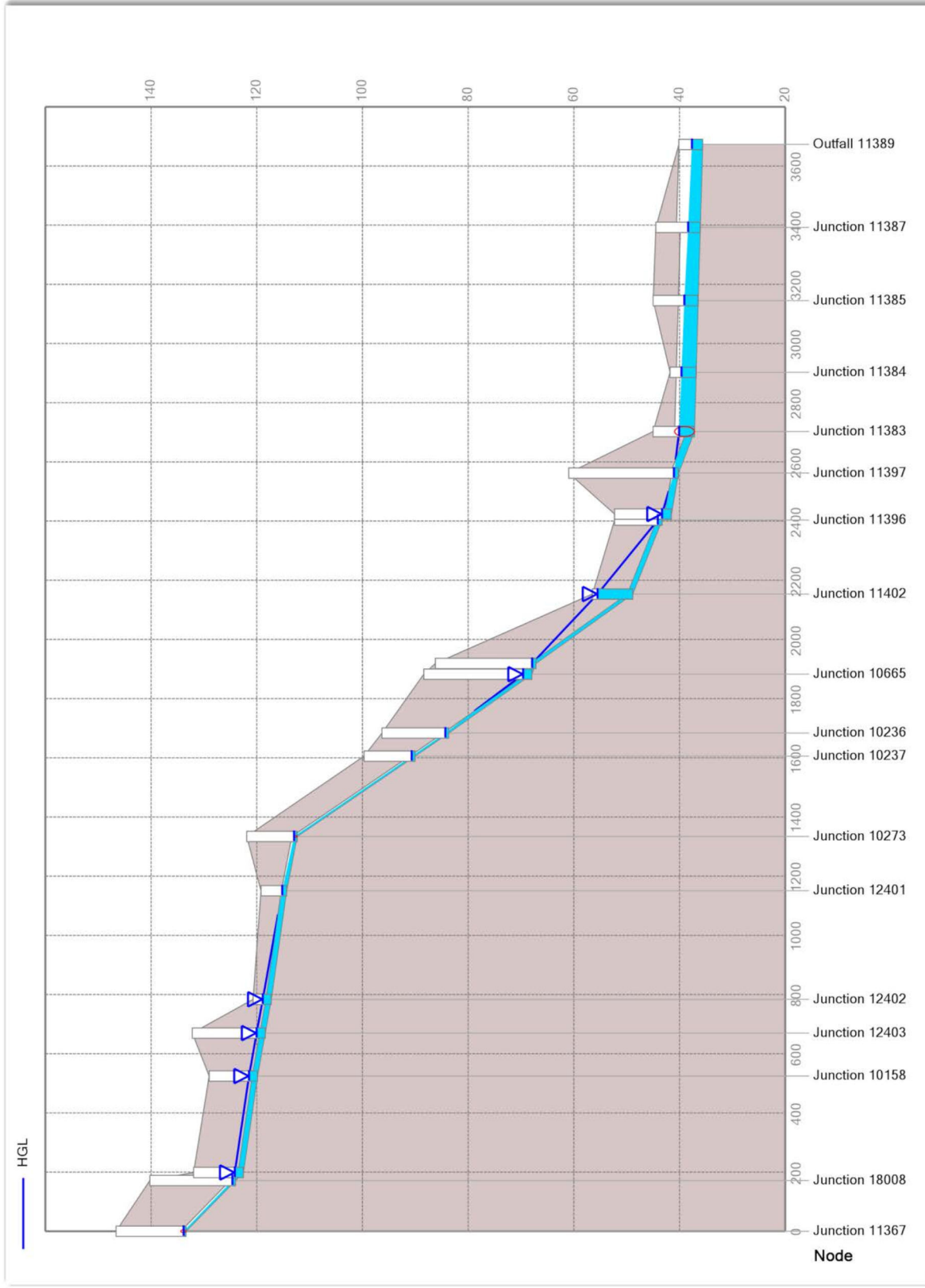


Figure 17. 12th Street sewer profile (1 of 2), 1- in 5-year storm event

EXHIBIT C

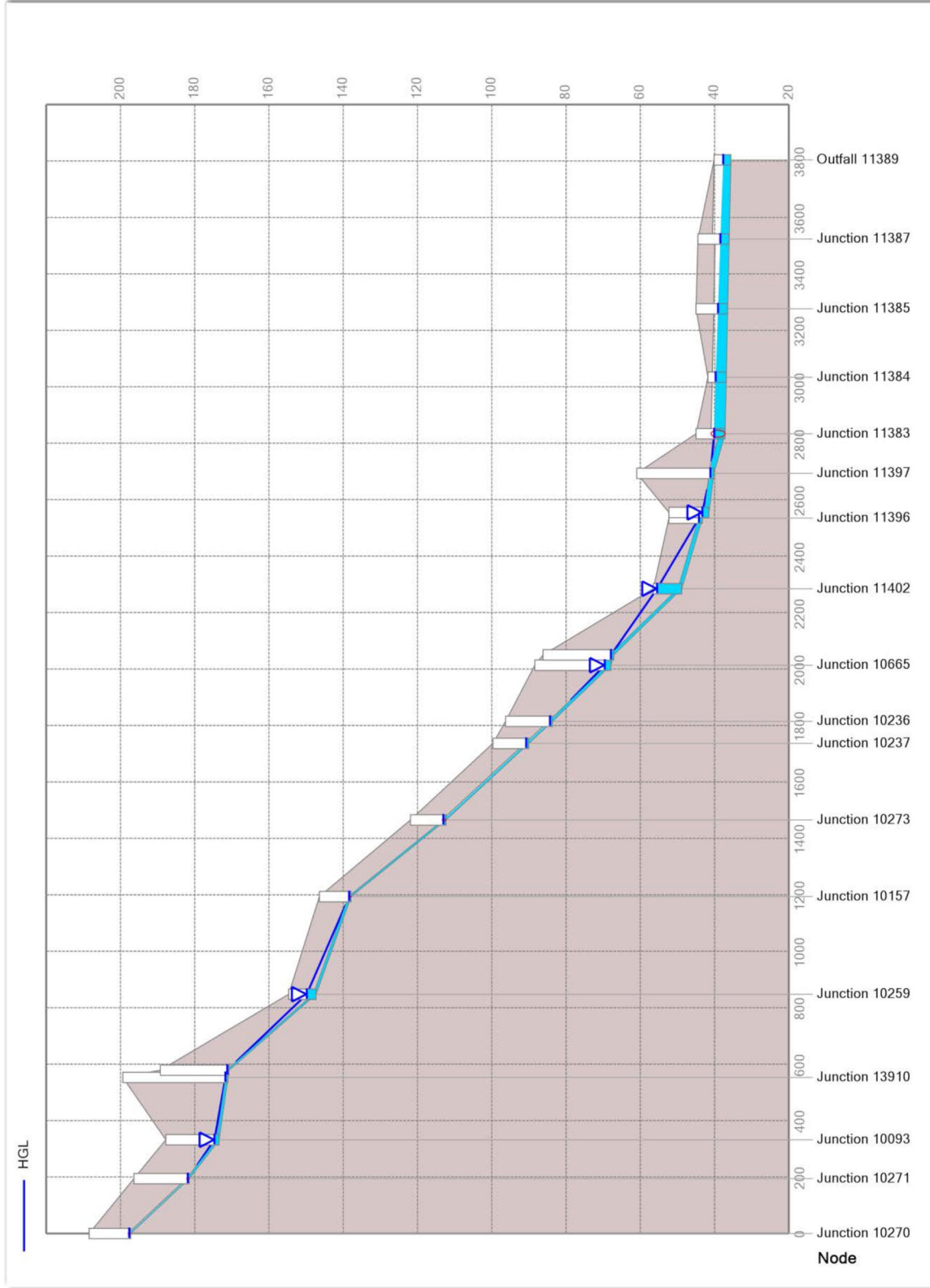


Figure 18. 12th Street sewer profile (1 of 2), 1- in 5-year storm event

3.3.3 Required Improvements: Existing Condition

Sewers that would need to be replaced to relieve the predicted surcharging for the existing condition, 1- in 5-year storm event are shown in Figure 19. Please note that not all pipes identified as surcharging need to be replaced since not all surcharging is excessive and the replacement of downstream constraints often reduces the surcharging in upstream sewers.

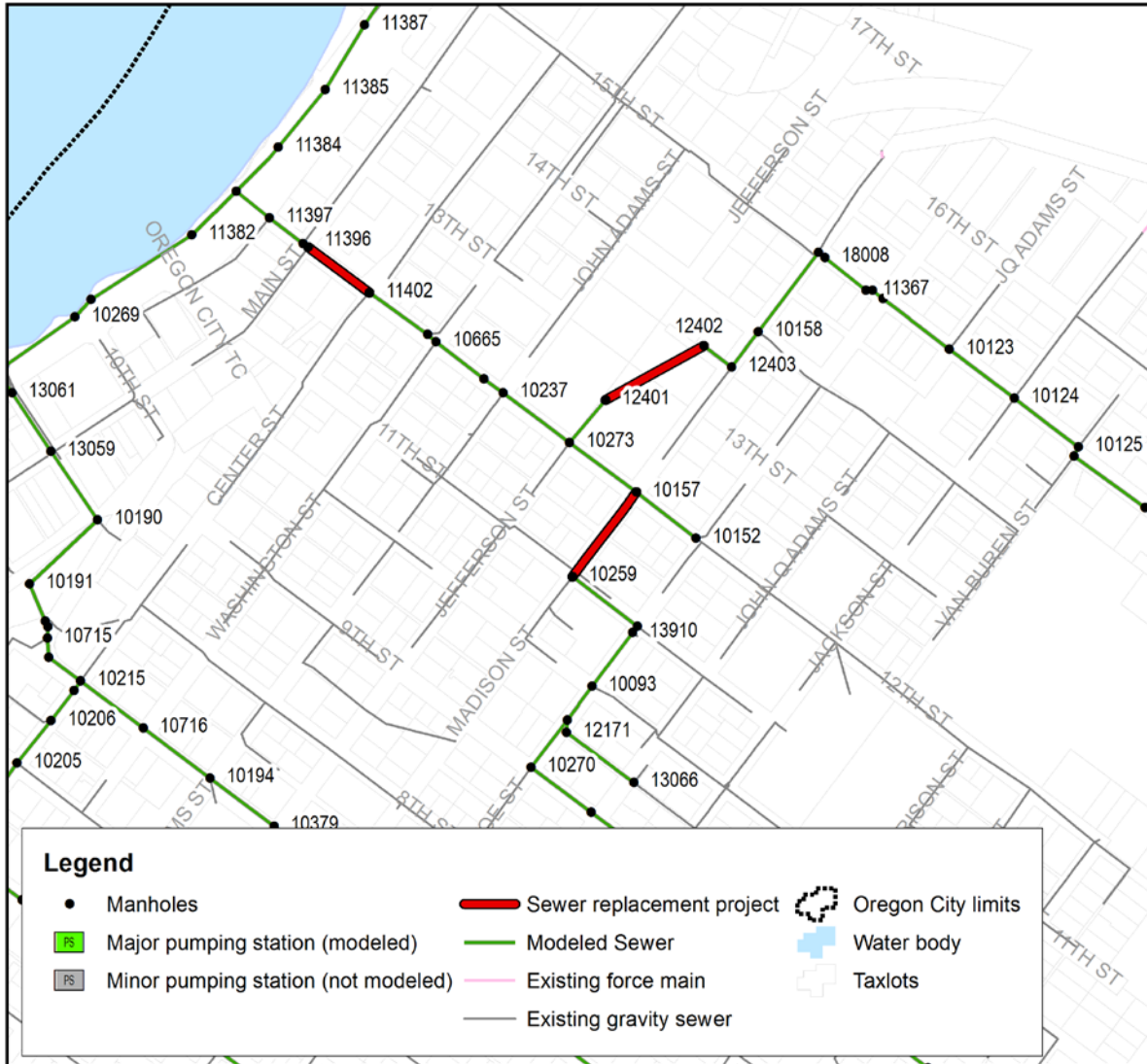


Figure 19. Required 12th Street sewer upgrades, 1- in 5-year storm event

Costs to upsized the sewers identified in Figure 19 are listed in Table 6. The costs are based on sizing replacement sewers to convey the 1- in 5-year storm event under existing conditions. Actual replacement of any of these pipes will be based on the 10-year storm event modeling for the future condition. Table 6 does not include the benefits of potential I/I reduction measures.

EXHIBIT C

Table 6. Sewer Upsizing Requirements – 5-year Storm Event, Existing Conditions Scenario						
Pipe ID	Owner	Length, feet	Existing pipe diameter, inches	Upsize diameter, inches	Current total cost, \$	SSMP project name
10259_10157	OC	346	8	10	128,789	(1) 12th Street
12402_12401	OC	367	12	15	86,858	(1) 12th Street
11402_11396	OC	250	12	15	110,616	(1) 12th Street
Total all pipe replacements					326,260	

The costs listed in Table 7 are based on sizing of replacement sewers to convey the 1- in 10-year storm event under the existing conditions scenario. The required pipe sizes do not change from what is required for the 1- in 5-year storm modeling, but the number of sewers that require replacement increases. Upsizing the pipes listed in Table 7 will convey the 1- in 10-year storm under the existing conditions with little surcharging and no flooding, as shown in Figures 20 and 21.

Table 7. Sewer Upsizing Requirements – 10-year Storm Event, Existing Conditions Scenario						
Pipe ID	Owner	Length, feet	Existing pipe diameter, inches	Upsize diameter, inches	Current total cost, \$	SSMP project name
10259_10157	OC	346	8	10	128,789	(1) 12th Street
12402_12401	OC	367	12	15	86,858	(1) 12th Street
12401_10273	OC	183	12	15	81,202	(1) 12th Street
11402_11396	OC	250	12	15	110,616	(1) 12th Street
Total all pipe replacements					407,470	

EXHIBIT C

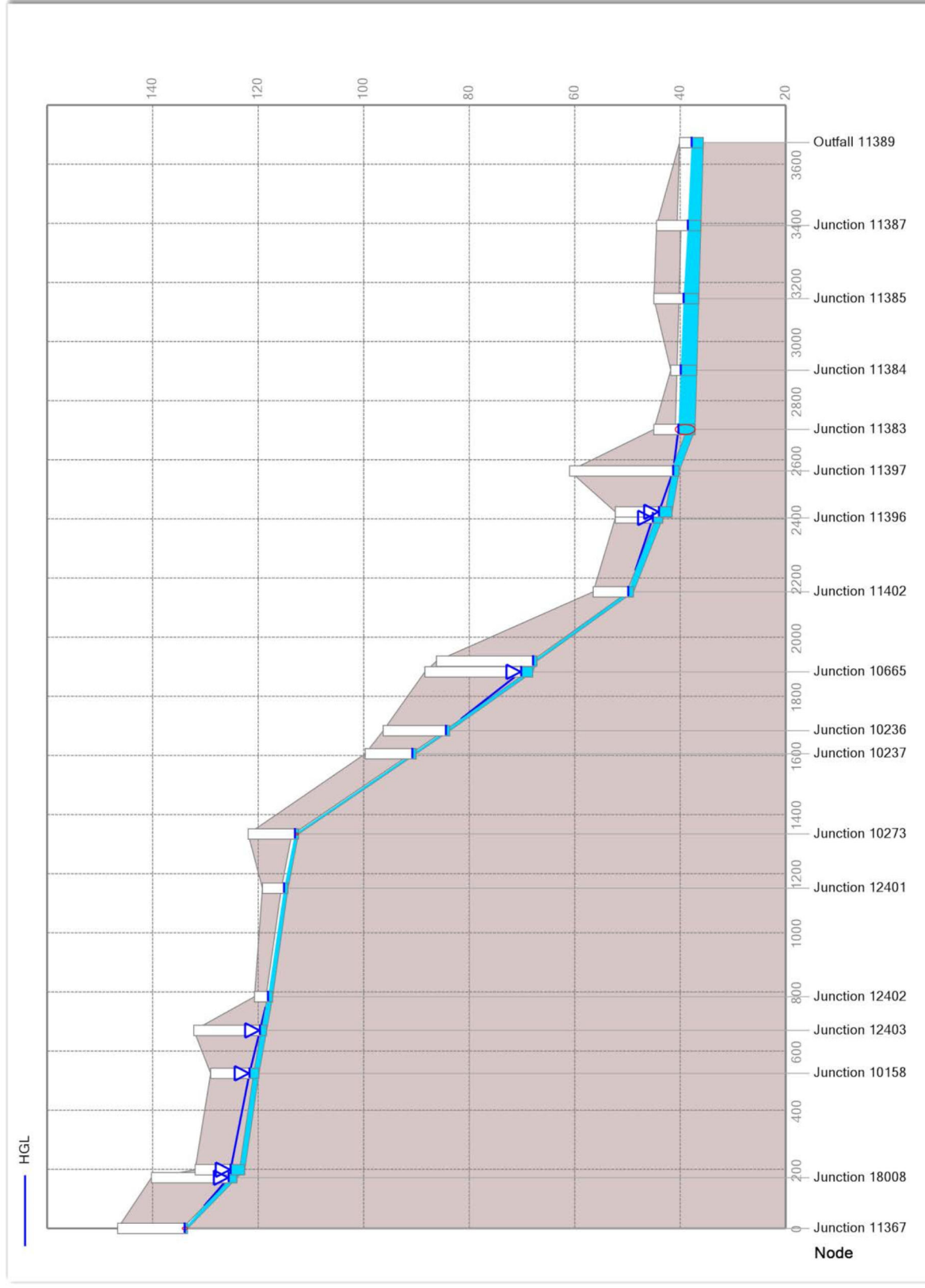


Figure 20. 12th Street sewer profile (1 of 2), 1- in 10-year storm event, pipes upsized

EXHIBIT C

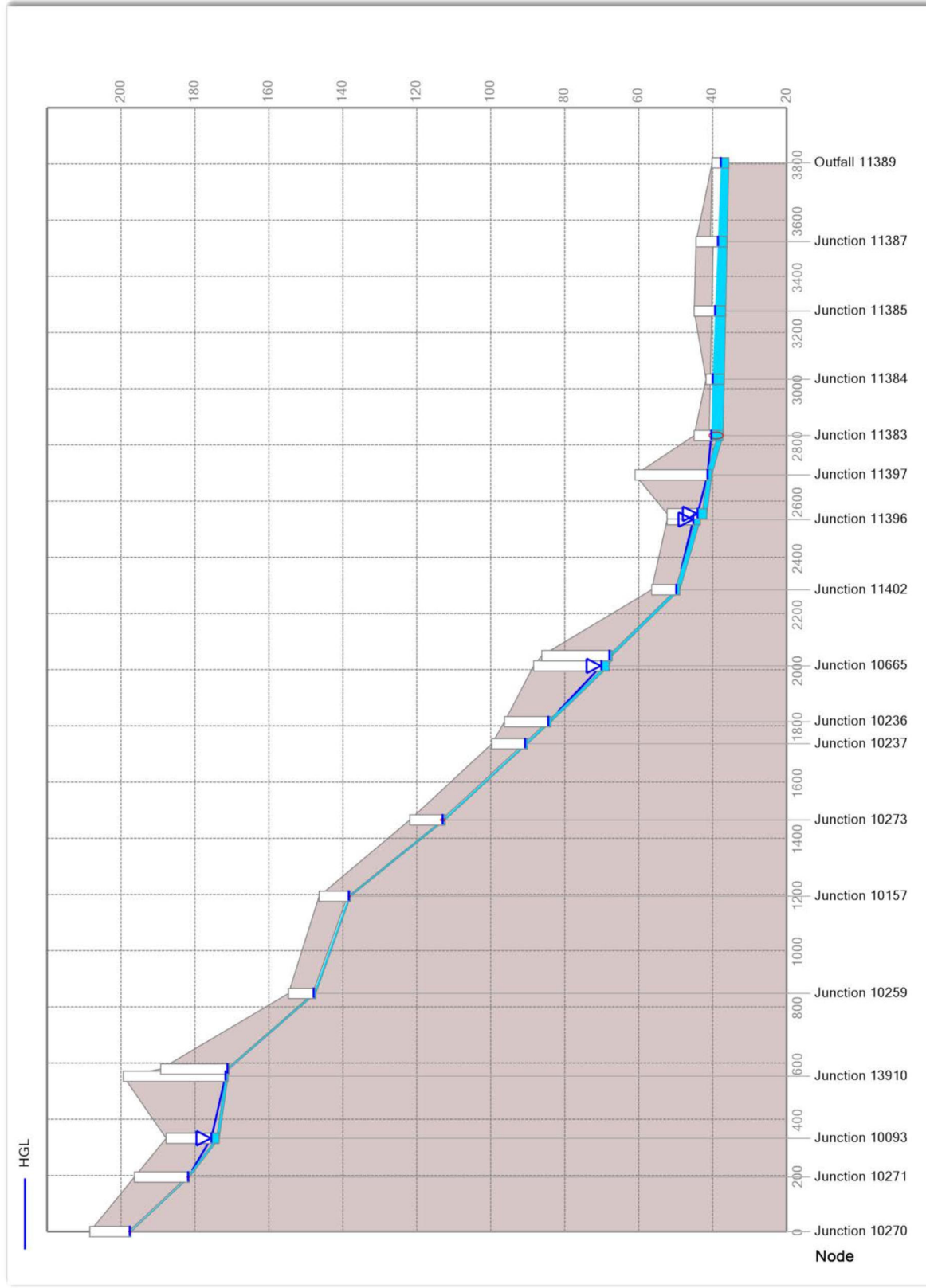


Figure 21. 12th Street sewer profile (2 of 2), 1- in 10-year storm event, pipes upsized

3.3.4 12th Street Recommendations

Portions of the 12th Street sewer are undersized and currently operating beyond existing capacity, including the 1- in 5-year and 1- in 10-year storm events. The sewers in this area need to be increased in diameter and/or the flows need to be reduced via an I/I abatement program. **Any additional flows introduced into this sewer prior to implementation of the capital improvement recommendations will increase surcharging and increase the potential for flooding and/or basement backups in the area.** The sizing of replacement sewers should be based on the recommendations of the SSMP as determined to convey the future conditions scenario, 1- in 10-year storm event.

3.4 13th Street and Division Street

The capacity constraints on 13th Street and Division Street are grouped together in this TM because they are sequential and share some common tributary area. The 13th Street and Division Street projects were identified individually in the SSMP for the purpose of grouping costs into manageable projects.

3.4.1 Existing Condition: 1- in 10-year Modeling Results

The 1- in 10-year storm event modeling was performed with the existing conditions scenario (i.e., 2014 conditions). This storm event was modeled first since the 1- in 10-year storm is consistent with the modeling performed for the SSMP.

The model predicted surcharging and flooding for the 1- in 10-year, existing conditions scenario, is shown in Figure 22. Surcharging extends from MH 10173 on 14th Street, upstream to MH 11516 on Division Street. As shown on the profile view on Figure 23, the HGL increases from MH 10172 to MHs 11426 and 11427 where flooding is predicted. The surcharging extends upstream from the flooded manholes to the increase in pipe slope at the pipe segment between MH 11516 and MH 11515.

EXHIBIT C

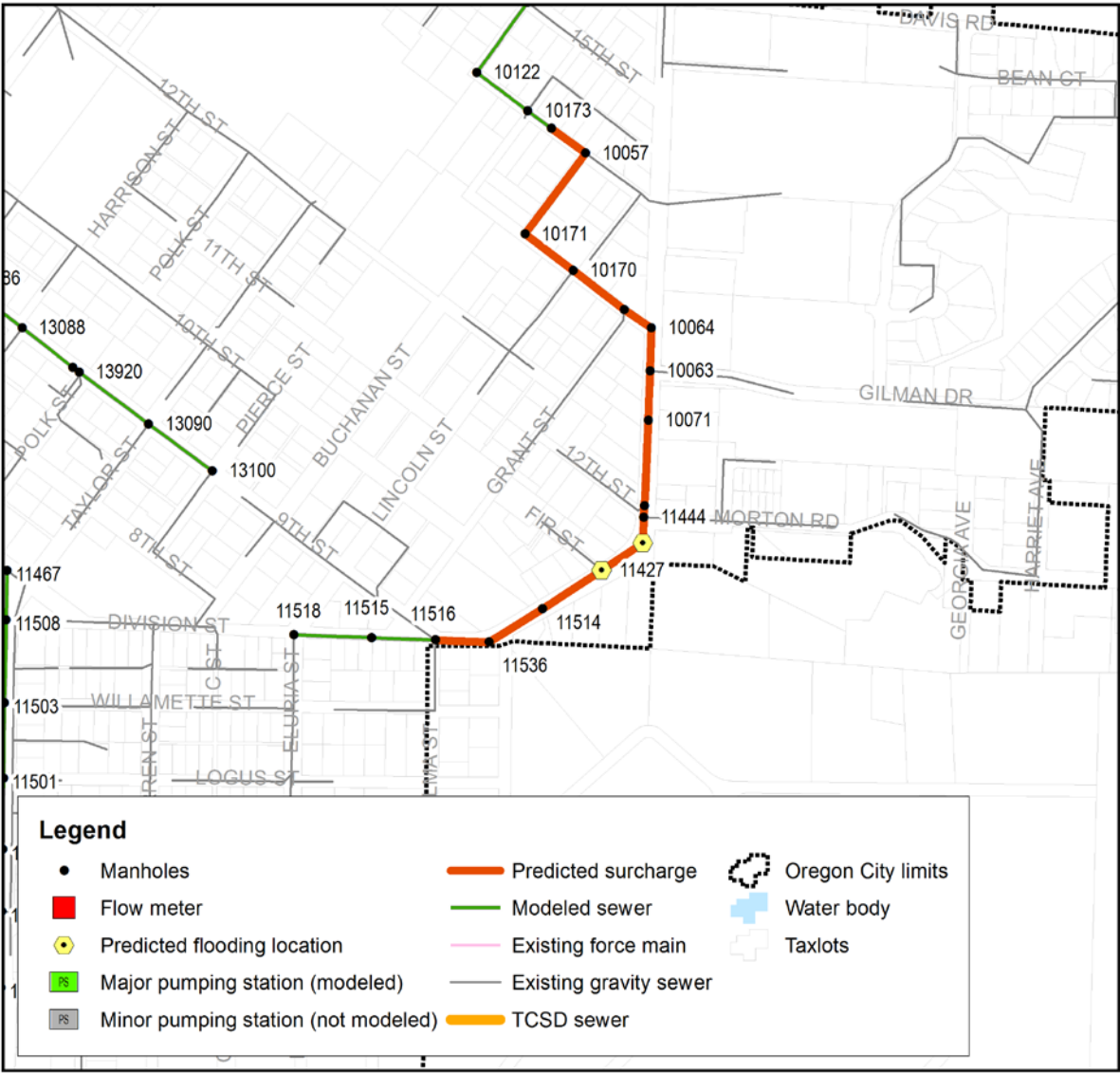


Figure 22. Surcharging and flooding along 13th Street sewer, 1- in 10-year storm event

EXHIBIT C

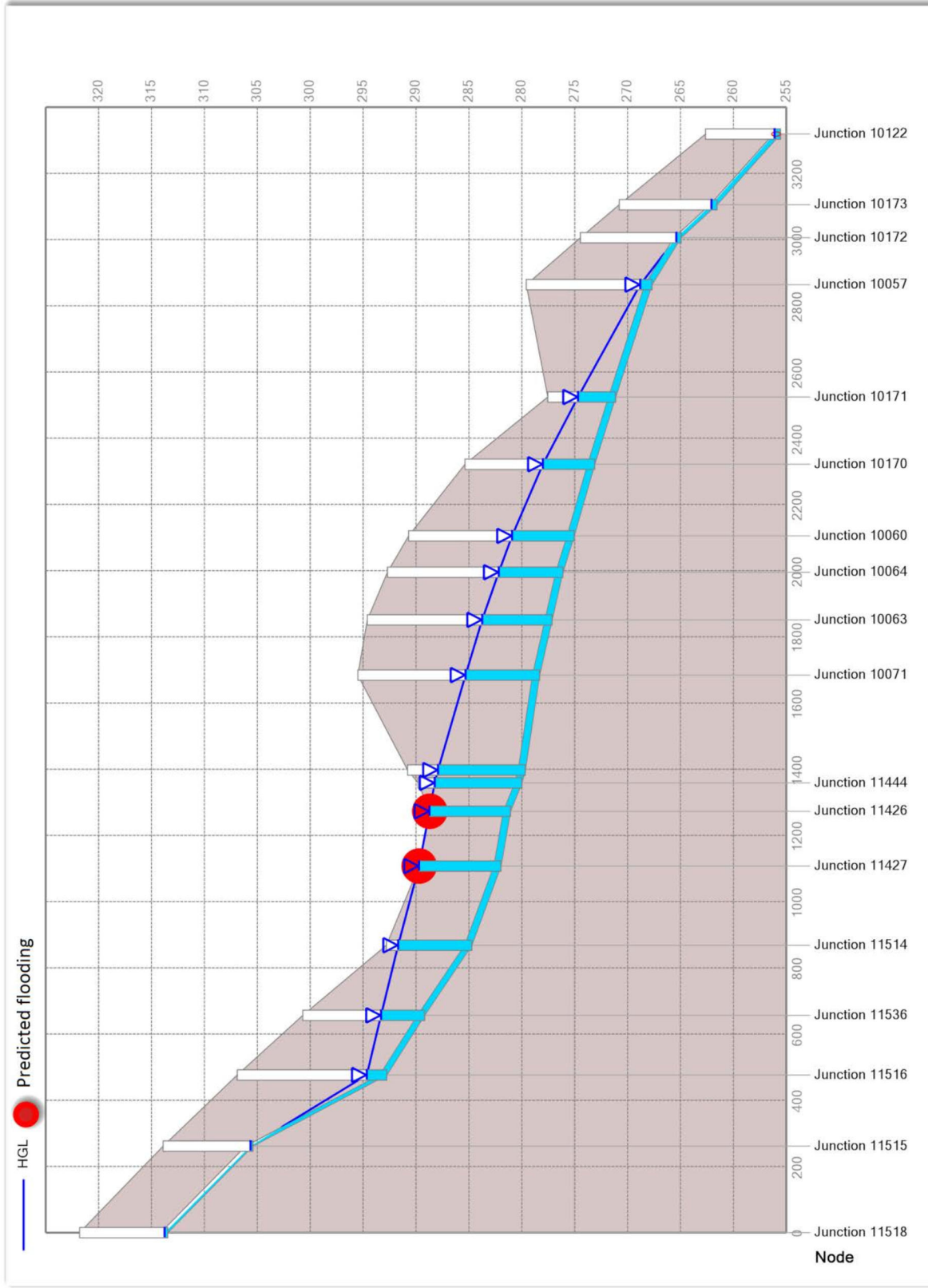


Figure 23. 13th Street sewer profile, 1-in 10-year storm event

3.4.2 Existing Condition: 1- in 5-year Modeling Results

The 1- in 5-year storm event modeling was performed with the existing conditions scenario (i.e., 2014 conditions). This modeling helps to identify the sewers that will surcharge more frequently than the 1- in 10-year design storm used in the SSMP. As shown in Figure 24, the profile is nearly the same as the 1- in 10-year storm event modeling. The HGL is only slightly lower for the 5-year event than the larger 10-year storm. Surcharging extends over the pipe segments from MH 10057 to MH 11516 and flooding occurs at MH 11427.

EXHIBIT C

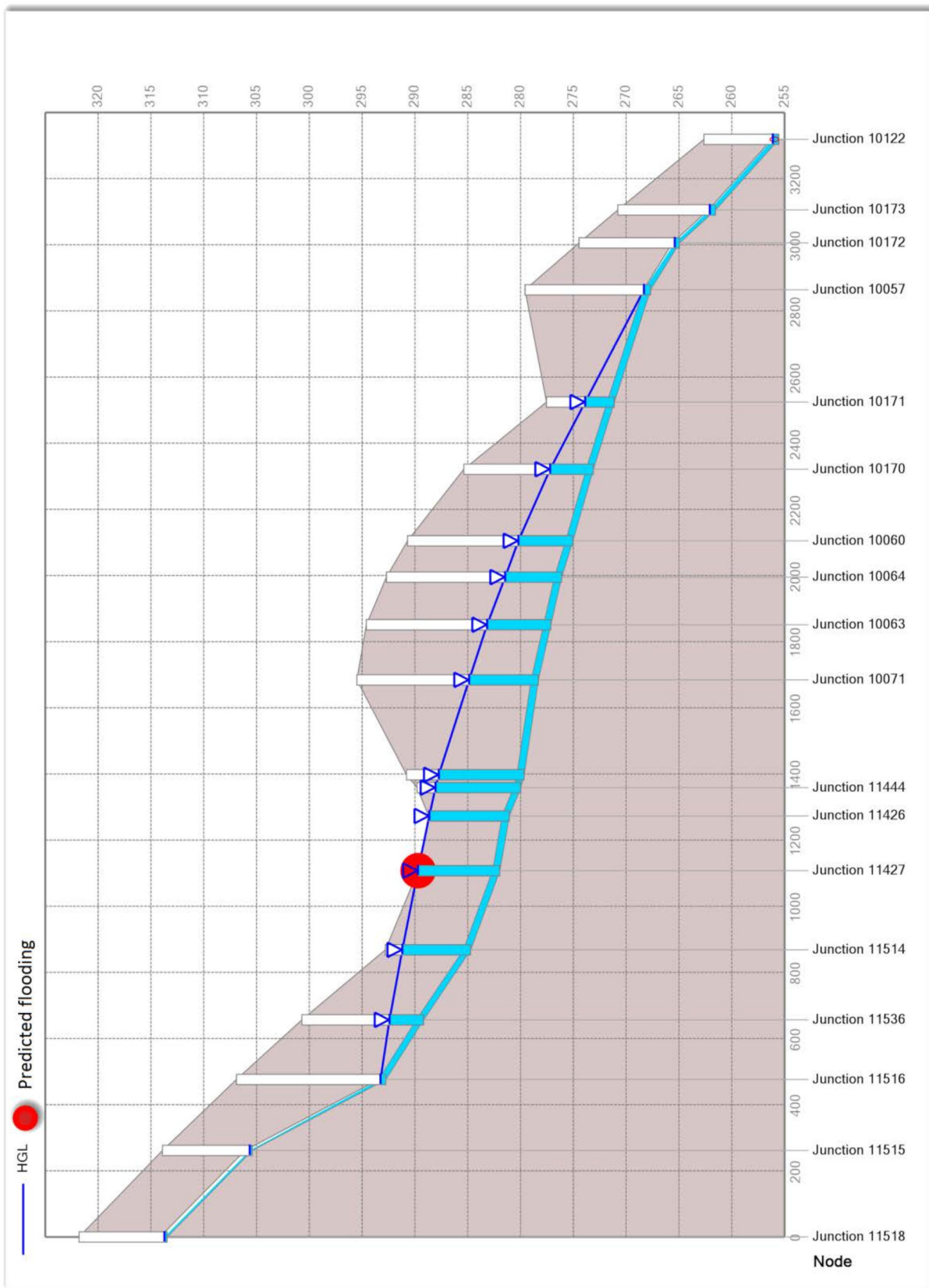


Figure 24. 13th Street sewer profile, 1- in 5-year storm event

3.4.3 Required Improvements: Existing Condition

Sewers that would need to be replaced to relieve the predicted surcharging and flooding for the existing condition, 1- in 5-year storm event are shown in Figure 25. Please note that not all pipes identified as surcharging need to be replaced since not all surcharging is excessive and the replacement of downstream constraints often reduces the surcharging in upstream sewers.

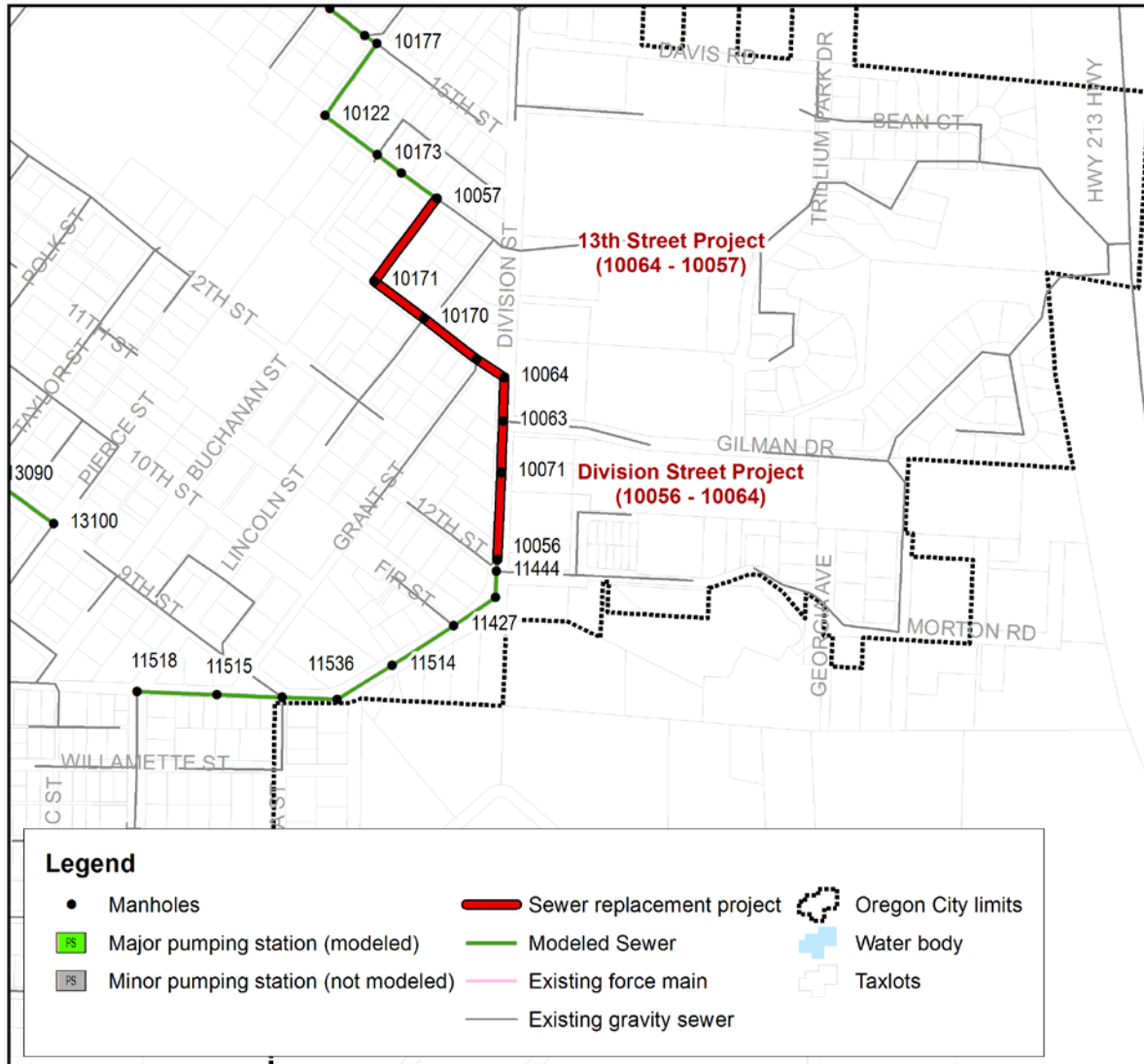


Figure 25. Required 13th Street and Division Street sewer upgrades, 1- in 5-year storm event

Costs to upsize the sewers identified in Figure 25 are listed in Table 8. The costs are based on sizing replacement sewers to convey the 1- in 5-year storm event under existing conditions. Actual replacement of any of these pipes will be based on the 10-year storm event modeling for the future condition. Table 8 does not include the benefits of potential I/I reduction measures.

EXHIBIT C

Table 8. Sewer Upsizing Requirements – 5-year Storm Event, Existing Conditions Scenario						
Pipe ID	Owner	Length, feet	Existing pipe diameter, inches	Upsize diameter, inches	Current total cost, \$	SSMP project name
10171_10057	OC	339	8	10	126,350	(2) 13th Street
10170_10171	OC	203	8	10	75,618	(2) 13th Street
10060_10170	OC	216	8	10	111,222	(2) 13th Street
10064_10060	OC	110	8	10	74,337	(2) 13th Street
10063_10064	OC	144	8	10	97,388	(3) Division Street
10071_10063	OC	167	8	10	112,880	(3) Division Street
10056_10071	OC	287	8	10	194,127	(3) Division Street
Total all pipe replacements					791,920	

The costs listed in Table 9 are based on sizing of replacement sewers to convey the 1- in 10-year storm event under the existing conditions scenario. The required pipe sizes do not change from what is required for the 1- in 5-year storm modeling, but the number of sewers that require replacement increases. Upsizing the pipes listed in Table 9 will convey the 1- in 10-year storm with little surcharging and no flooding, as shown in Figure 26.

Table 9. Sewer Upsizing Requirements – 10-year Storm Event, Existing Conditions Scenario						
Pipe ID	Owner	Length, feet	Existing pipe diameter, inches	Upsize diameter, inches	Current total cost, \$	SSMP project name
10057_10172	OC	142	8	10	72,918	(2) 13th Street
10171_10057	OC	339	8	10	126,350	(2) 13th Street
10170_10171	OC	203	8	10	75,618	(2) 13th Street
10060_10170	OC	216	8	10	111,222	(2) 13th Street
10064_10060	OC	110	8	10	74,337	(2) 13th Street
10063_10064	OC	144	8	10	97,388	(3) Division Street
10071_10063	OC	167	8	10	112,880	(3) Division Street
10056_10071	OC	287	8	10	194,127	(3) Division Street
11444_10056	OC	38.8	8	10	19,941	(3) Division Street
Total all pipe replacements					884,780	

EXHIBIT C

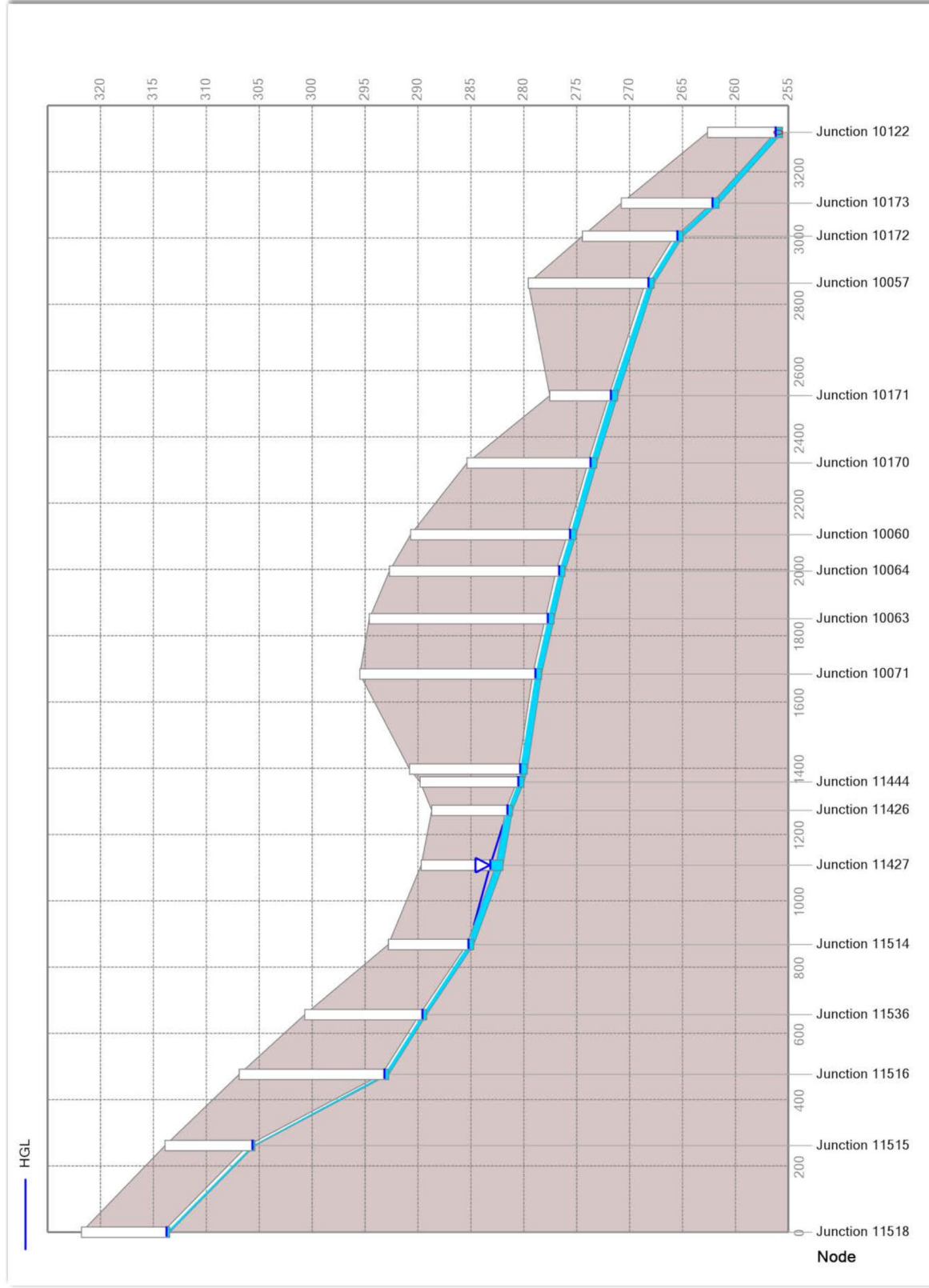


Figure 26. 13th and Division Street sewer profile, 1- in 10-year storm event, pipes upsized

3.4.4 13th and Division Street Recommendations

Portions of 13th and Division Street sewer are undersized and currently operating beyond existing capacity, including the 1- in 5-year and 1- in 10-year storm events. The sewers in this area need to be increased in diameter and/or the flows need to be reduced via an I/I abatement program. **Any additional flows introduced into this sewer prior to implementation of the capital improvement recommendations will increase surcharging and increase the potential for flooding and/or basement backups in the area.** The sizing of replacement sewers should be based on the recommendations of the SSMP as determined to convey the future conditions scenario, 1- in 10-year storm event.

3.5 Holcomb Boulevard

Holcomb Boulevard is located in the northeastern portion of Oregon City, east of Hwy 213 and north of Redland Road. The Holcomb Boulevard sewer evaluated in the SSMP is included in the north zone model and extends from MH 10505 to MH 10458.

The Holcomb Boulevard sewer does not surcharge during the 1-in 10-year storm event, existing conditions scenario. The SSMP provides information on the pipe replacement project required to meet future flow requirements on Holcomb Boulevard. A detailed map of the tributary area to the Holcomb Boulevard sewer is provided in Attachment A.

3.6 Settler's Point

The Settler's Point Pumping Station is located at the southern boundary of Oregon City near the intersection of Frontier Parkway and South Meyers Road. The force main extends from the pumping station to the intersection of South Deer Meadows Road and South Meyers Road, where the force main discharges to a gravity sewer conveying flows to the TCSD Hwy 213 interceptor sewer. Capacity constraints at the pumping station and along the force main and gravity sewer are discussed in this section and shown in Figure 27.

3.6.1 Settler's Point Pumping Station

The pumping station was originally constructed in 1999 and is challenged with capacity constraints and operations and maintenance issues, as documented in the SSMP. The current pumping capacity is 831 gallons per minute (gpm). Modeled existing flows for the 1-in 5 year storm event are approximately 820 gpm, 1-in 10-year storm event flows are approximately 931 gpm, and projected future flows are predicted to be 1,092 gpm. At a minimum, the pumps should be upgraded at this station to address the frequent maintenance problems and the projected capacity issue.

The existing 8-inch-diameter, 1,210-foot-long force main is slightly undersized to convey the projected future flows and could be upsized to improve energy efficiency at the pumping station. The SSMP did not assume replacement of the force main.

The estimated cost of improvements to the Settler's Point Pumping Station is approximately \$300,000 based on information provided by a City consultant, who was engaged to evaluate this pumping station at the time of the writing of the SSMP.

3.6.2 Existing Condition: 1- in 10-year Modeling Results

The gravity sewer from MH 12620 at South Deer Meadows Road and South Meyers Road to MH 11784 near the Molalla Avenue and Hwy 213 interchange experiences minimal surcharging in the 1- in 10-year storm event. The surcharging shown between MH 12621 and MH 12620 is the result of model instability where the force main discharges into the gravity sewer and is not presented in the SSMP as a surcharging location. The profile view in Figure 28 shows the HGL along the gravity sewer alignment in the 1-in 10-year storm event.

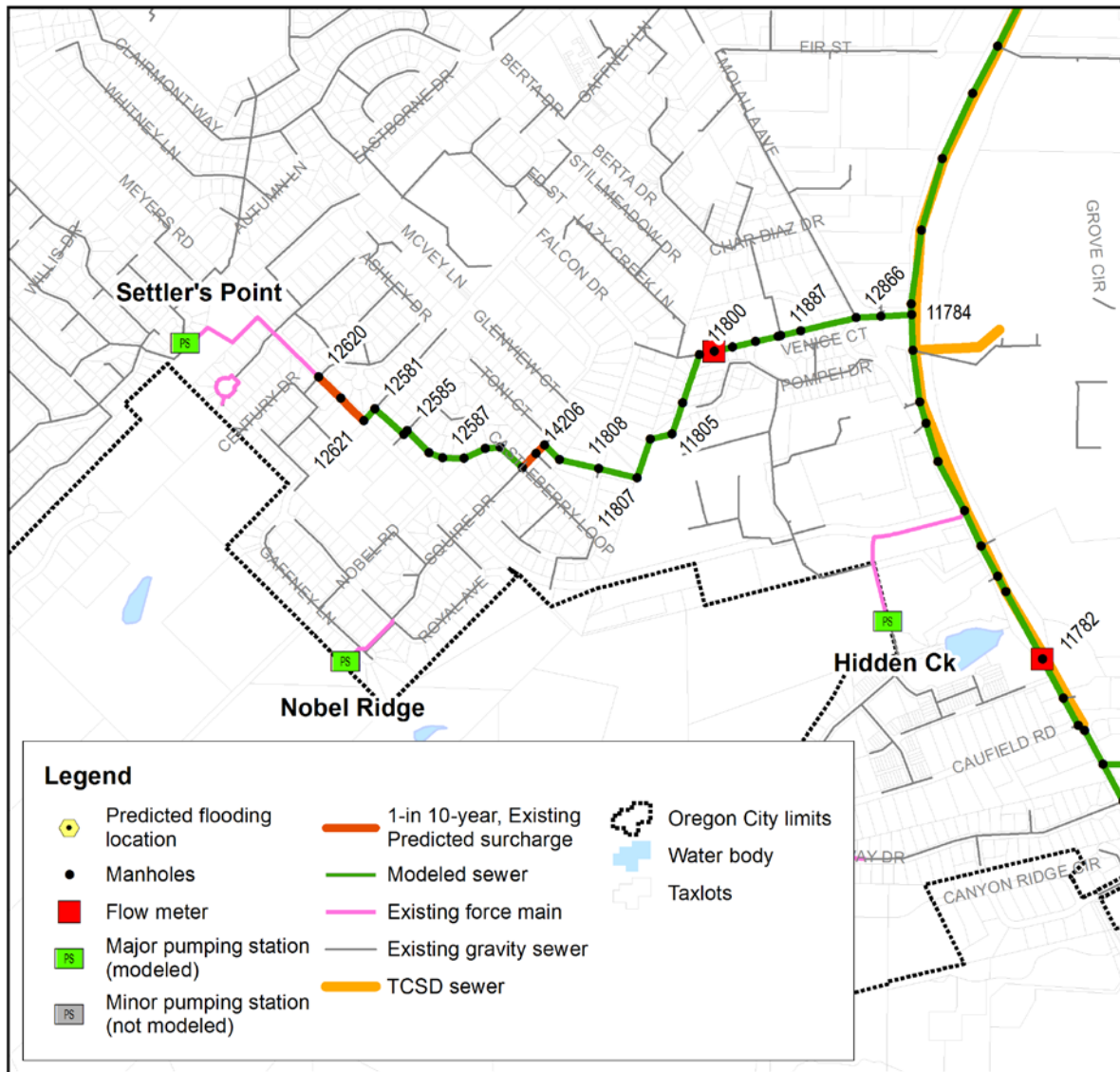


Figure 27. Surcharging along Settler's Point gravity sewer, 1- in 10-year storm event

3.6.3 Existing Condition: 1- in 5-year Modeling Results

The gravity sewer from MH 12620 at South Deer Meadows Road and South Meyers Road to MH 11784 near the Molalla Avenue and Hwy 213 interchange experiences no surcharging in the 1-in 5-year storm event. The profile view in Figure 29 shows the HGL along the gravity sewer alignment in the 1-in 5-year storm event

3.6.4 Settler's Point Recommendations

The Settler's Point Pumping Station meets the demand of the existing conditions 1-in 5-year storm event but is capacity limited in the existing conditions, 1-in 10-year storm event. It is recommended that the City plan for improvements to the pumping station based on recommendations of the SSMP as determined to convey the future conditions scenario, 1-in 10-year storm event, while continuing to monitor the pumping station's capacity in the interim. Surcharging in the manholes upstream of the station should be observed during large storm events to determine the extent of surcharging caused by limitations in the pumping capacity during these events. **Any additional flows introduced to this pumping station prior to implementation of the capital improvement recommendations will increase surcharging in the upstream sewer once the capacity of the pumping station is exceeded and increase the potential for flooding and/or basement backups in the area.**

The gravity sewer downstream of the pumping station has sufficient capacity to convey flows for the existing conditions 1-in 10-year storm event and no immediate recommendations are made for this sewer. However, upsize of the TCSD sewer in Hwy 213 documented in the SSMP does significantly reduce surcharging in this sewer for the future conditions scenario.

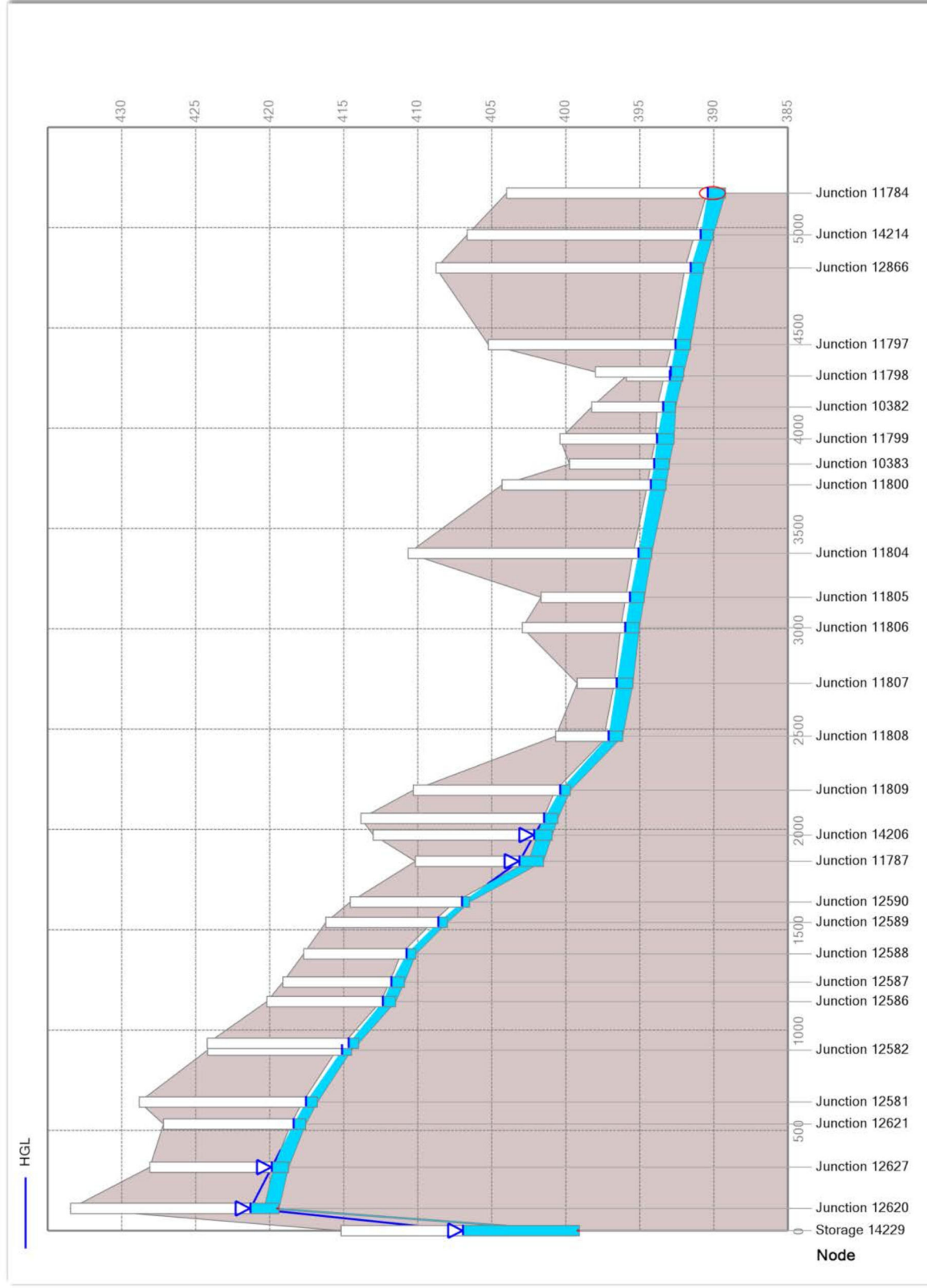


Figure 28. Settler's Point sewer profile, 1- in 10-year storm event

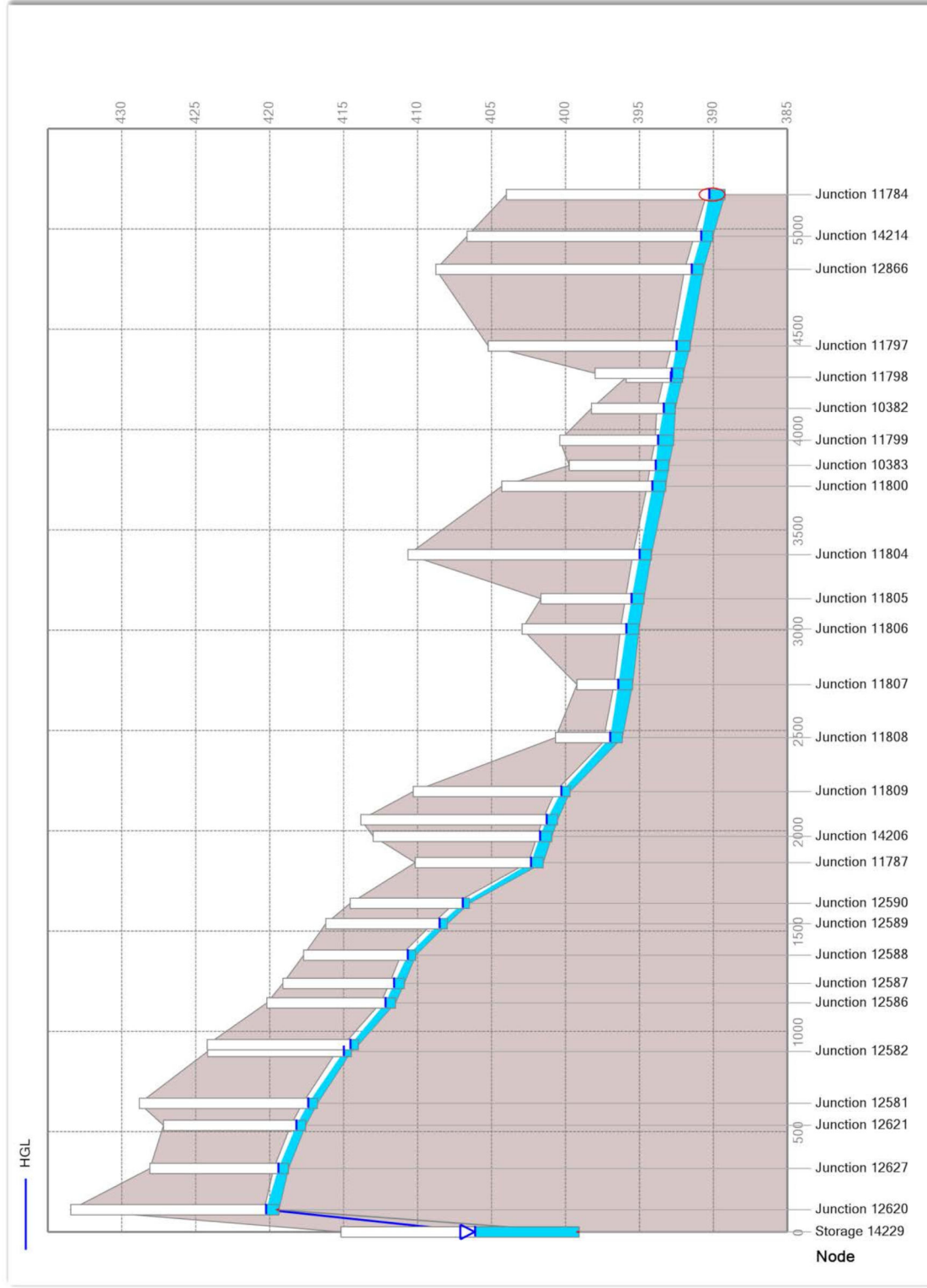


Figure 29. Settler's Point sewer profile, 1- in 5-year storm event

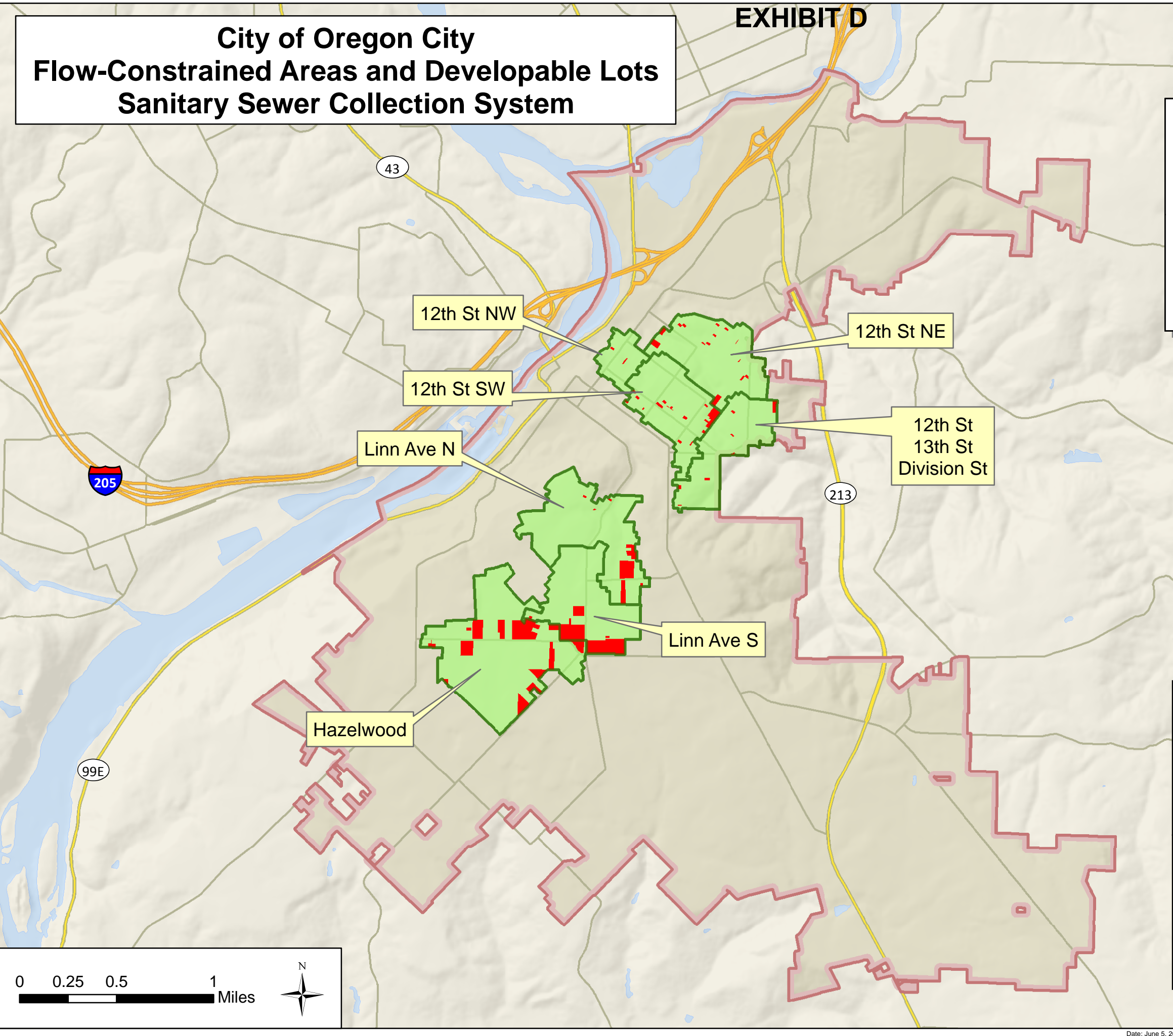
Section 4: Recommendations Summary

The sewers described in Section 3 were reviewed in more detail based on capacity constraints identified in the SSMP. The gravity sewers at Linn Avenue, Hazelwood Avenue, 12th Street, 13th Street, and Division Street are all undersized for existing conditions, including the 1- in 5-year and 1- in 10-year storm events. The Settler's Point Pumping Station is also undersized for existing condition flows. The capacity of sewers and the Settler's Point Pumping Station described in this TM need to be increased and/or the flows need to be reduced via an I/I abatement program to meet existing condition flows. Portions of the Linn Avenue sewer are undersized and currently operating beyond existing capacity. Any additional flows introduced into these sewers and pumping station prior to implementation of the capital improvement recommendations **will increase surcharging and increase the potential for flooding and/or basement backups in the area.** The sizing of replacement sewers should be based on the recommendations of the SSMP as determined to convey the 1- in 10-year storm event under the future conditions scenario.

City of Oregon City
Flow-Constrained Areas and Developable Lots
Sanitary Sewer Collection System

EXHIBIT D

Figure 2A



Legend

- City Limits
- Sanitary Sewer Flow-Constrained Area
- Developable Lots within Flow-Constrained Area*

* Definition of "Developable Lot"

1. New Development on a vacant property; or
2. Redevelopment on a property where the land value is much greater than the existing development value.

Zoning District Classification

Zone	Description
I	Institutional District
MUC-1	Mixed Use Corridor 1 District
MUD	Mixed Use Downtown District
MUE	Mixed Use Employment District
R-2	Multi-Family Dwelling District (2,000 sq ft)
R-3.5	Dwelling District (3,500 sq ft)
R-6	Single-Family Dwelling District (6,000 sq ft)
R-8	Single-Family Dwelling District (8,000 sq ft)
R-10	Single-Family Dwelling District (10,000 sq ft)

Summary - Total Developable Lots within Flow-Constrained Area by Zoning District

Zone	# Lots	Total Acres
MUC-1	1	1.9
MUD	1	0.3
MUE	3	1.3
R-2	8	15.5
R-3.5	14	5.3
R-6	47	14.9
R-10	14	25.0
Total - All Areas	88	64.2

0 0.25 0.5 1 Miles

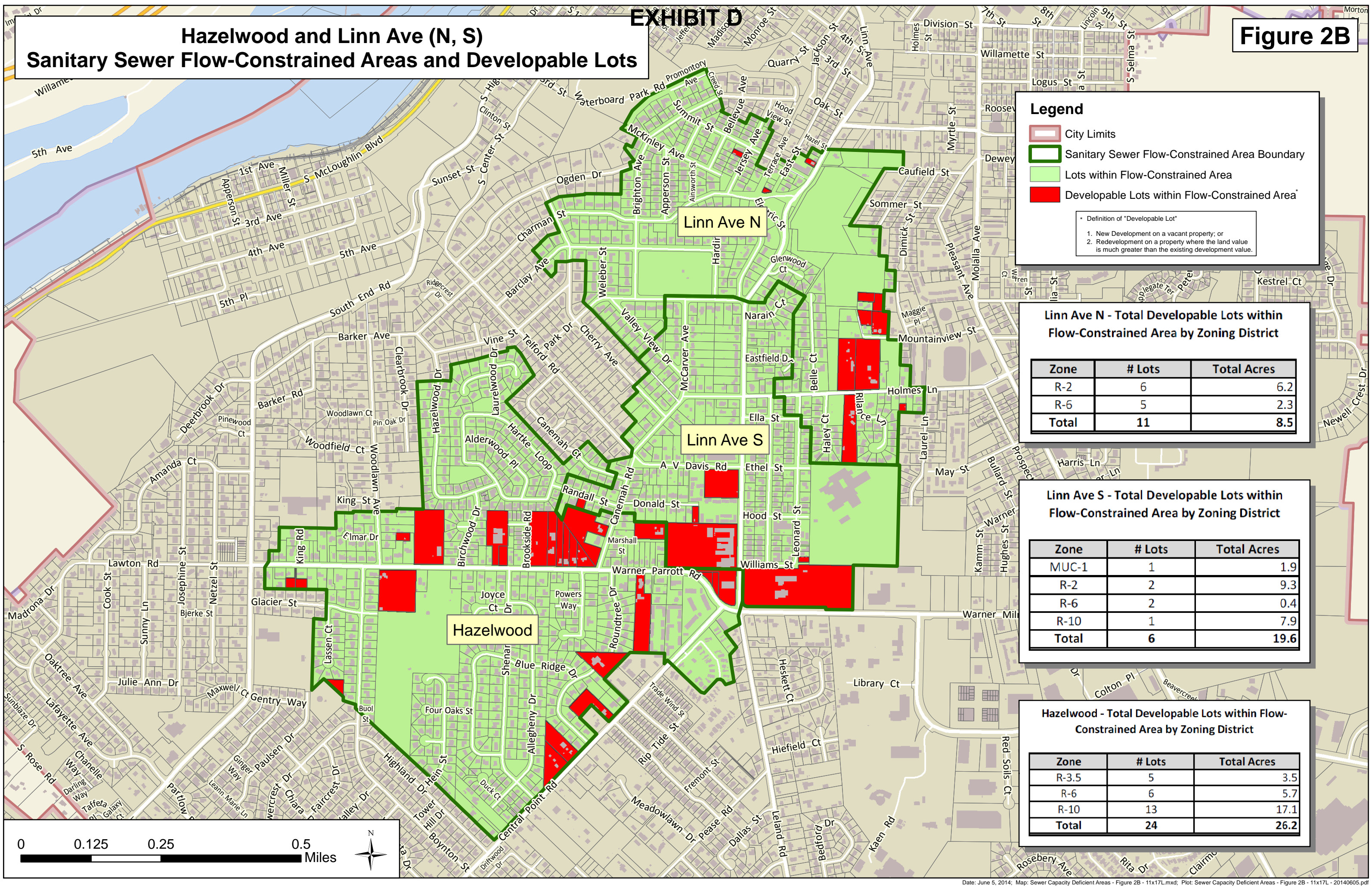


EXHIBIT D

Hazelwood and Linn Ave (N, S)

Sanitary Sewer Flow-Constrained Areas and Developable Lots

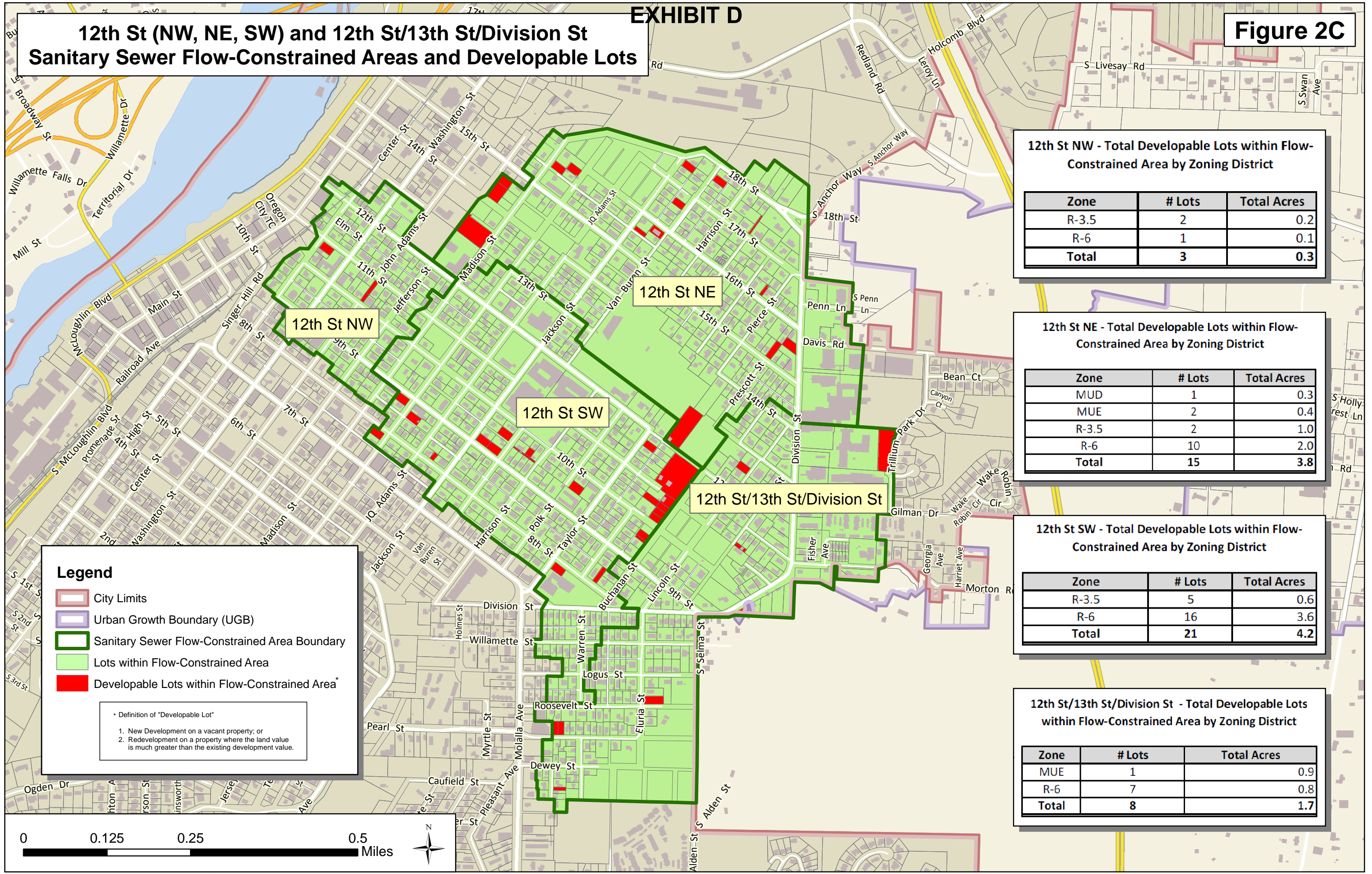
Figure 2B



12th St (NW, NE, SW) and 12th St/13th St/Division St Sanitary Sewer Flow-Constrained Areas and Developable Lots

EXHIBIT D

Figure 2C



12th St NW - Total Developable Lots within Flow-Constrained Area by Zoning District

Zone	# Lots	Total Acres
R-3.5	2	0.2
R-6	1	0.1
Total	3	0.3

12th St NE - Total Developable Lots within Flow-Constrained Area by Zoning District

Zone	# Lots	Total Acres
MUD	1	0.3
MUE	2	0.4
R-3.5	2	1.0
R-6	10	2.0
Total	15	3.8

12th St SW - Total Developable Lots within Flow-Constrained Area by Zoning District

Zone	# Lots	Total Acres
R-3.5	5	0.6
R-6	16	3.6
Total	21	4.2

12th St/13th St/Division St - Total Developable Lots within Flow-Constrained Area by Zoning District

Zone	# Lots	Total Acres
MUE	1	0.9
R-6	7	0.8
Total	8	1.7

Legend

- City Limits
- Urban Growth Boundary (UGB)
- Sanitary Sewer Flow-Constrained Area Boundary
- Lots within Flow-Constrained Area
- Developable Lots within Flow-Constrained Area*

* Definition of "Developable Lot"

1. New Development on a vacant property; or
2. Redevelopment on a property where the land value is much greater than the existing development value.





City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Staff Report

File Number: 14-433

Agenda Date: 7/28/2014

Status: Draft

To: Planning Commission

Agenda #: 2.

From: Community Development Director Tony Konkol

File Type: Minutes

Adoption of Planning Commission Minutes for March 24, 2014 and April 14, 2014.

RECOMMENDED ACTION (Motion):

Review and adopt the attached minutes.

BACKGROUND:

Staff has reviewed the attached draft minutes for for March 24, 2014 and April 14, 2014 for errors. Please see attached.



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Meeting Minutes Planning Commission

Monday, March 24, 2014

7:00 PM

Commission Chambers

1. Call to Order

Chair Kidwell called the meeting to order at 7:00 PM.

Present: 5 - Zachary Henkin, Damon Mabee, Denyse McGriff, Charles Kidwell and Robert Mahoney

Absent: 2 - Paul Espe and Tom Geil

Staffers: 2 - Tony Konkol and Laura Terway

2. Work Session

2a. PC 14-029

Presentation: Review Proposed Sign Code (OCMC Chapter 15.28)

Laura Terway, Planner, said the purpose of the Work Session was to go through the details of the proposed Sign Code. She discussed the project goal, purpose of the sign regulations, definitions, scope, permit process, and signage standards. She showed examples of sign size. She then explained the proposed code and changes from the existing code for single and two family residential zones, multi-family residential zones, and conditional uses in residential zones.

There was discussion regarding adding regulations for signs on cars, clarifying how the sign regulations supported economic development, how to deal with signs with lasers, smoke, or sound and painted windows, enforcement and compliance, regulations for abandoned signs, criteria for maintaining signs, and highway frontages. For residential zones, there was discussion regarding the materials signs were made from, adding restrictions for flag and flag pole size, the number of political signs allowed on a property, off premise signs, and not allowing banners in these zones.

Ms. Terway then explained the proposed code for office, commercial, mixed use, and industrial zone signs.

There was discussion regarding clarifying the language for ground floor tenants who were entitled to a minimum of a 20 square foot wall sign.

Jonathan Stone, Main Street Manager, asked about entrances for second and third floor tenants and if they were allowed a 20 square foot sign. He was concerned the Code would preclude the entrance to a lobby for tenants upstairs.

Ms. Terway stated it would apply to a lobby on the ground floor. The tenants upstairs would have to share one 20 square foot sign. They would also get one foot of signage per every foot of tenant space. She would bring back examples to better clarify what was proposed.

There was discussion regarding properties with large frontages being allowed to have a second free standing sign and the possibility of having different standards for different areas of the City instead of having it based on frontage. The Commission wanted the emphasis to be on enforcement.

Commissioner Mahoney suggested creating a Design Review Board for signs.

Chair Kidwell thought there should be emphasis on the quality of the sign rather than the quantity of the signs.

Commissioner Mabee thought enforcement would be more effective than a Design Review Board.

Commissioner McGriff did not think a Design Review Board was practical at this time. Enforcement was key.

There was consensus that a Design Review Board could be created in the future when there was better compliance.

Chair Kidwell suggested adding the criteria that if a sign deteriorated from its original condition that it either needed to be repaired or replaced. Commissioner Mahoney suggested saying signs had to be maintained to the standard of their original application.

There was discussion regarding the need to add funding for enforcement through the budget process and making a shorter deadline of four years or less to remove any non-complying signs.

Mr. Stone said a lot of downtown signs were incentivized through grants. Peer pressure was also a way to encourage people to come into compliance.

Staff would bring back more clarity on enforcement and bringing signs into conformity, creating a design maintenance requirement, and limiting the size of flags and height of flag free-standing poles.

There was discussion regarding having special sign corridors or a one size fits all approach. There was consensus to wait for special sign corridors until there was baseline compliance. The Commission agreed that for non-conforming signs that were constructed legally, they could be grandfathered in, but if they were not constructed legally, they would need to be removed. The enforcement piece of the Sign Code would come back to the Commission on April 14. Ms. Terway would continue going through the proposed code at another Work Session.

3. Communications

Ms. Terway discussed what would be on the next meeting's agenda.

4. Adjournment

Chair Kidwell adjourned the meeting at 10:15 PM.



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Meeting Minutes Planning Commission

Monday, April 14, 2014

7:00 PM

Commission Chambers

1. Call to Order

Vice Chair McGriff called the meeting to order at 7:00 PM.

Present: 5 - Paul Espe, Zachary Henkin, Denyse McGriff, Tom Geil and Robert Mahoney

Absent: 2 - Damon Mabee and Charles Kidwell

Staffers: 3 - Tony Konkol, Laura Terway and Pete Walter

2. Approval of Minutes

2a 14-235 Approval of Planning Commission minutes for January 13, 2014 and January 27, 2014

A motion was made by Commissioner Geil, seconded by Commissioner Espe, to approve the Planning Commission minutes for January 13, 2014. The motion carried by the following vote:

Aye: 5 - Paul Espe, Zachary Henkin, Denyse McGriff, Tom Geil and Robert Mahoney

A motion was made by Commissioner Henkin, seconded by Commissioner Mahoney, to approve the Planning Commission minutes for January 27, 2014. The motion carried by the following vote:

Aye: 4 - Paul Espe, Zachary Henkin, Denyse McGriff and Robert Mahoney

Abstain: 1 - Tom Geil

3. Public Comments on Non-Agenda Items

There were no public comments on non-agenda items.

4. Public Hearing

4a PC 14-034 L 14-01: Sign Code Update

Vice Chair McGriff opened the public hearing.

Laura Terway, Planner, presented the staff report. It was one of the City Commission goals to review the Sign Code standards which had not been reviewed for 20 years. She discussed the project team and project goal. She introduced Ryan Orth of Enviro Issues who would explain the process of the review.

Mr. Orth gave an overview of the public input process that was done including early community engagement, community recommendations, Community Advisory Team (CAT), public open houses, and CAT recommendations.

Ms. Terway discussed staff recommendations and the updated Code adoption process including review of the draft code and more public meetings. The next Planning Commission Work Session on the Sign Code would be held on April 28 and public hearing on May 12.

Mayor Neeley presented Certificates of Appreciation to the CAT members.

Ms. Terway had given the Commission comments that had been submitted since the last meeting.

Tom O'Brien, CAT member, thought a potential area of struggle was knowing what signs were officially permitted and who owned the signs. He suggested staff hire some interns to go back through the records and make an inventory.

Dave Buckman, resident of Oregon City, thought permanent signs should be put up around the City stating the fine for not cleaning up dog poop, which he had to clean up often in his yard and the City property that was adjacent to his property.

Daryl Winand, Governmental Affairs Specialist from the Portland Metropolitan Association of Realtors, had served as a CAT member. He appreciated the consideration for the use of A-frame signs on private property for open houses. He encouraged the Commission to consider allowing open house signs in the public right of way in residential areas. It was in the proposed Code language and other cities currently allowed it. On their website they summarized the sign codes of several cities.

There was no further testimony.

Ms. Terway recommended continuing the hearing to May 12, 2014.

A motion was made by Commissioner Geil, seconded by Commissioner Henkin, to continue the hearing for L 14-01: Sign Code Update to May 12, 2014. The motion carried by the following vote:

Aye: 5 – Paul Espe, Zachary Henkin, Denyse McGriff, Tom Geil and Robert Mahoney

4b PC 14-032

ZC 13-02: Zone Change from R-10 Single-Family Dwelling District to R-8 Single-Family Dwelling District for multiple properties located on Woodlawn Avenue.

Vice Chair McGriff opened the public hearing. She read the public hearing format and asked if the Commission had any ex parte contact, conflict of interest, or bias to declare or visit to the site since the last hearing.

Commissioner Espe had driven by the neighborhood.

Ms. Terway presented the staff report. Originally this application was for a zone change from R-10 to R-6, but the applicant amended the application from R-10 to R-8. She described the surrounding neighborhood and how R-8 would be compatible. No development had been proposed at this time. The traffic analysis concluded that the minimal traffic impact complied with the Code. Going from R-10 to R-8 would add five dwelling units at the most. She reviewed the approval criteria and zone change criteria. Staff requested a continuance to look at potential sewer

constraints and had determined the capacity was sufficient for the zone change. She discussed the items that were not part of the criteria, but had been brought up in this process. The Planning Commission could only consider the criteria associated with the approval criteria. Staff recommended approval of the zone change, which would be reviewed by the City Commission on May 7. She entered her presentation into the record.

There was discussion regarding the sewer capacity issues in this area and the testing that had been done.

Mark Westerman, applicant, asked if the Commission had any questions he could answer.

Commissioner McGriff encouraged him to save as many Oak trees as possible on the site. Commissioner Henkin suggested designating one of the trees as a Heritage Tree.

There was no other public testimony.

Vice Chair McGriff closed the public hearing.

Commissioner Mahoney did not think the applicant made a strong enough case for the need for the zone change.

Commissioner Espe thought a change from R-10 to R-8 was minimal in the number of houses and impact. It would help with Metro compliance for housing densities. He suggested a future discussion regarding clustering density so things like trees could be preserved.

Commissioner Geil was uncomfortable there was no shadow plat or plan to show where the streets and lots would go, however he realized this was not a requirement for a zone change.

A motion was made by Commissioner Henkin, seconded by Commissioner Geil, to recommend approval of ZC 13-02 to the City Commission. The motion carried by the following vote:

Aye: 5 - Paul Espe, Zachary Henkin, Denyse McGriff, Tom Geil and Robert Mahoney

4c 14-264

ZC 13-03: Zone Change from R-10 Single-Family Dwelling District to R-8 Single-Family Dwelling District.

Vice Chair McGriff opened the public hearing. She asked if the Commission had any ex parte contact, conflict of interest, or bias to declare or visit to the site since the last hearing. There was none.

Pete Walter, Planner, presented the staff report. This was a request for a zone change from R-10 to R-8. Originally the application had been a change to R-6 and all the application documents had been revised to reflect the new request for R-8. If recommended for approval, the application would go to the City Commission on May 7. He explained the tax lots in the application, subject site and adjacent properties, and PGE easement. No development was proposed at this time. He then described the zoning map and how R-8 would be compatible in this area, confirmed the Comprehensive Plan Map designation would be the same, and reviewed the approval criteria, zone change criteria, and Comprehensive Plan goals and policies. Part of tax lot 1503 was in the Natural Resource Overlay District and would be reviewed when a subdivision plan was submitted. All services were available for future

development and SDCs would be collected during the building permit process. A transportation impact study was prepared and concluded that traffic operations would be adequate. Off site mitigation was recommended with development. One option was prohibiting a left turn from north bound Central Point Road to Warner Parrott Road. Staff recommended forwarding a recommendation of approval to the City Commission for their consideration on May 7. He entered his staff report into the record.

There was discussion regarding the constraints on the site with the power lines and stream and where potential houses could go.

Mimi Doukas, representing the applicant, stated there was a market demand for smaller lots. After several conversations regarding concern about compatibility, the application was changed from R-6 to R-8. Increasing the density in this area made sense, and R-8 was a good compromise. There was sufficient infrastructure to support higher density, it was along a collector street with bike lanes, and the R-8 zone would allow for greater diversity within the City's housing opportunities. The land was large enough for the developers to be thoughtful in how the site planning would be done. She agreed with staff's findings and requested approval of the R-8 zone.

Joshua Bell, resident of Oregon City, was opposed to any changes to the lot size. The applicant said there was a demand for smaller lots, but he thought the demand was for homes of a certain price and to make those homes available they needed to make the lots smaller. It was important to preserve the quality of life in neighborhoods and larger lots created a healthier neighborhood with trees and green space. This was a rural community and that character needed to be maintained through growth.

David Rustan, resident of Oregon City, had an established shop behind his house and a driveway that went back to the shop and to the neighbor behind him. The driveway would have to stay as an easement by prescription. He thought the lots should remain as R-10. If it was changed, there would be more congestion and traffic. If R-8 was approved, Parrish Road needed to have the speed changed to 35 mph and there needed to be public transportation in the area.

Tom O'Brien, resident of Oregon City, clarified there was a partial bike lane on Central Point Road. There was a narrow stretch of that road and speeding traffic which made it unsafe for bicycles.

Pat Ullman, resident of Oregon City, was happy this went from R-6 to R-8. She discussed the trees and how extra trees had been planted in the park nearby which had to be taken out because of the power lines. R-8 lots were too small to plant a big tree because it would be too close to the foundation. The noise of the power lines was not an issue, but the interference of the power lines to the internet and cell phones was. Her traffic concerns were about Central Point and Warner Parrott. People were interested in single level homes.

Ms. Doukas gave a rebuttal. Some of the issues would be addressed in the subdivision phase, such as transportation mitigation and Mr. Rustin's access to his property. She thought R-8 was a good balance and asked for approval.

Vice Chair McGriff closed the public hearing.

Commissioner Henkin said this was only a difference of 13 homes. He was concerned the opposition was to development of the property versus developing R-8.

Commissioner Espe discussed the constraints on the property and how allowing more density could accommodate for them. There would be open space that corresponded with the easement and street corridor. R-10 vs. R-8 had minimal impact differential.

Commissioner McGriff was concerned about this property being on the edge of the City and the better housing for aging in place was closer to the core and services. Not many would use the bike lanes as part of the lane was missing and it would add more cars on the roads. She thought there would be an impact and there already was congestion. The market was what was available, not what people demanded. She was not convinced that it needed to be changed to R-8.

Commissioner Mahoney thought the City had an inadequate transportation system for potential growth and it needed to be fixed.

Commissioner Geil said the difference between R-10 and R-8 was not that significant and would not change the impact on transportation.

A motion was made by Commissioner Mahoney, seconded by Commissioner Espe, to recommend approval of ZC 13-03 to the City Commission. The motion carried by the following vote:

Aye: 4 - Paul Espe, Zachary Henkin, Tom Geil and Robert Mahoney

Nay: 1 - Denyse McGriff

5. Communications

Tony Konkol, Community Development Director, said an Envision Newell Creek Canyon Open House would be held on April 29. The Willamette Falls Legacy Project land use application would be before the Planning Commission on April 21, although staff was asking for a continuance as Mega Rock, LLC was trying to purchase the property and an open house would be held on that date instead. He passed out a report from Eco Northwest regarding the Willamette Falls Legacy Project. The pedestrian access envisioned to be a world class tourism draw was top priority. He explained the pending sale of the property.

Commissioner McGriff announced the William Stafford 100th Birthday Celebration on April 21. She said Mike Mulkey, a previous Planning Commissioner, had passed away.

6. Adjournment

Vice Chair McGriff adjourned the meeting at 9:34 PM.



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Staff Report

File Number: PC 14-084

Agenda Date: 7/28/2014

Status: Public Hearing

To: Planning Commission

Agenda #: 4a.

From: Community Development Director Tony Konkol

File Type: Land Use Item

SUBJECT:

CU 13-03: Conditional Use and SP 13-22 Site Plan and Design Review for a wireless communication pole on the McLoughlin Elementary School property, located at 19230 South End Road

RECOMMENDED ACTION (Motion):

The applicant has requested a continuance to allow the School Board time to discuss the proposal at the August 11th School Board meeting. Staff recommends continuing the hearing until the August 25, 2014 meeting.

BACKGROUND:

The applicant is requesting approval of a conditional use and site plan and design review permit for the installation of a wireless communication pole on the McLoughlin Elementary school property at 19230 South End Road. The project includes a 75-foot pole designed to resemble a fir tree and an equipment cabinet on the south/southwest side of the property, adjacent to the parking lot turnaround area.

Kelly Moosbrugger

From: Larry Didway <Larry.Didway@orecity.k12.or.us>
Sent: Monday, July 21, 2014 10:22 AM
To: Kelly Moosbrugger
Cc: Sharon Gretch; Nate Roedel; Wes Rogers; Ted Thonstad
Subject: Re: McLoughlin Elementary cell tower

Kelly:

I have heard from our board chair, Chris Storey, regarding the July 28th Planning Commission meeting. Regrettably, he respectfully requests to delay the hearing to a time after the August 11th School Board meeting discussion. Hopefully, this concession will reap positive support and strengthen the community commitment. Again, your patience and understanding are greatly appreciated.

Regards,
-Larry

Larry Didway, Superintendent
Oregon City School District

On Jul 18, 2014, at 1:47 PM, "Larry Didway" <Larry.Didway@orecity.k12.or.us> wrote:

Hi Kelly.

The school board did indeed agree to place the issue on the August 11 agenda. Two board members requested the item be discussed as an agenda item after hearing patron input. (I think Nate Roedel called Steve or Sharon on Tuesday to alert them. I copied him also.)

I'm really not sure how to predict this one. At this time, I think there is unanimous board agreement with the value and safety of placing the cell tower at McLoughlin. However, there is significant anxiety about alienating the neighborhood association, with whom we have always maintained a positive and collaborative relationship. Our board chair, who happens to be a land use attorney for Clackamas County, is well aware of the timeline issue, as is the rest of the board. Before you back away from the July 28 hearing date, let me confer with him. (He just left my office!) I'm sure I can get you an answer by mid-day Monday.

Thanks for your patience and understanding. I know that community support and understanding is important for all of us. My apologies for the hiccup.

Regards,
-Larry

Larry Didway, Superintendent
Oregon City School District

On Jul 18, 2014, at 1:06 PM, "Wes Rogers" <Wes.Rogers@orecity.k12.or.us> wrote:

Kelly I am out of town until July 28. I have copied Supt. Larry Didway who can consult with you. I have been monitoring the issue via email. Let me know if I can help in any other way.

.wes

Sent via the Samsung GALAXY S@4, an AT&T 4G LTE smartphone

----- Original message -----

From: Kelly Moosbrugger

Date: 07/18/2014 9:27 AM (GMT-07:00)

To: Wes Rogers

Cc: Sharon Gretch

Subject: McLoughlin Elementary cell tower

Hi Wes,

I hope we can speak about this today or Monday - The Planning Commission hearing was continued to July 28th, but I was told by a neighbor that the School board was planning to put this topic on their August 11th agenda. I want to know if we should forego discussing the issue at the July 28th meeting and come back after August 11th?

Please let me know, as we need to have the July 28th agenda ready by the end of the day Monday.

Thanks,

Kelly Moosbrugger

Assistant Planner

(503) 496-1540

kmoosbrugger@orccity.org

Community Development Department

221 Molalla Ave, Suite 200

Oregon City, Oregon 97045

Website: www.orccity.org

Ready to help Oregonians rediscover Willamette Falls? Head over to www.rediscoverthefalls.com and sign up to be a champion today.

Kelly Moosbrugger

From: Kelly Moosbrugger
Sent: Monday, July 21, 2014 4:04 PM
To: Kelly Moosbrugger
Subject: FW: McLoughlin Elementary cell tower

From: Sharon Gretch [mailto:sharon.gretch@lexcomcorp.com]
Sent: Monday, July 21, 2014 1:52 PM
To: Kelly Moosbrugger; 'Larry Didway'
Cc: 'Nate Roedel'; 'Wes Rogers'; 'Ted Thonstad'
Subject: RE: McLoughlin Elementary cell tower

Hi Kelly,
AT&T has agreed to the extension with a new deadline of October 16th.

Thank you,

Sharon Gretch | LEXCOM
LEXCOM DEVELOPMENT
direct: 541.515.8263
sharon.gretch@lexcomcorp.com



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Staff Report

File Number: PC 14-085

Agenda Date: 7/28/2014

Status: Draft

To: Planning Commission

Agenda #: 4b.

From: Community Development Director Tony Konkol

File Type: Land Use Item

SUBJECT:

Portland Metro Men's Center -
Conditional Use Permit (CU 13-01), Site Plan and Design Review (SP 13-11) Lot Line Abandonment (LL 13-04), and Nonconforming Use Review (LN 14-04)

RECOMMENDED ACTION (Motion):

On July 14, 2014, the Planning Commission voted to deny CU 13-01, SP 13-11, and LL 13-04, and to approve LN 14-04. Based on the discussion of the Planning Commission at the July 14, 2014 hearing, staff has provided findings for the decision in the attached memo. Staff recommends the Planning Commission adopt the findings.

BACKGROUND:

The applicant has submitted a Site Plan and Design Review, Conditional Use and Lot Line Abandonment application in order to utilize the site for the Portland Metro Men's Center, a religious institution and associated Christian recovery program, including dormitory facilities for up to sixty (60) students enrolled in the program, construct associated structures, and consolidate two lots; and a Nonconforming Use application to confirm the legality of a nonconforming use.



MEMORANDUM

To: Oregon City Planning Commission
From: Kelly Moosbrugger, Planner
Re: CU 13-01/SP 13-11/LL 13-04 /LN 14-04 Portland Metro Men's Center findings
Date: July 23, 2014

On July 14, 2014, the Planning Commission voted to deny the Portland Metro Men's Center conditional use proposal (CU 13-01/SP 13-11/LL 13-04) for a dormitory, office building, and church building renovations, and to approve the nonconforming use application (LN 14-04) for the use of the site as a religious institution to allow continued operation of its day-use counseling activities on property located at 405 Warner Parrott Road.

The Commission directed staff to provide findings for the decision based on the deliberation and discussion at the July 14th hearing. Staff provides the following findings, which are intended to replace the findings in the staff report dated July 7, 2014. Staff recommends that the Planning Commission adopt the findings in this memorandum.

Findings:

The following Oregon City Municipal Code (OCMC) chapters apply to this project:

- 12.04 – Streets, Sidewalks, and Public Places;
- 12.08 – Public and Street Trees;
- 13.12 – Stormwater Management;
- 15.48 - Grading, Filling and Excavating;
- 16.20 - Property Line Adjustments and Abandonment Process and Standards;
- 17.08 – “R-10” Single Family Dwelling District;
- 17.41 - Tree Protection Standards;
- 17.50 – Administration and Procedures;
- 17.52 – Off Street Parking and Loading;
- 17.54 - Supplemental Zoning Regulations and Exceptions;
- 17.56 – Conditional Uses;
- 17.58 - Lawful Nonconforming Uses, Structure and Lots; and
- 17.62 - Site Plan and Design Review.

Findings: The applicant submitted a combined Conditional Use, Site Plan and Design Review and Lot Consolidation application; and a Nonconforming Use application to continue its day-use counseling as part of a nonconforming religious institution for property located at 405 Warner Parrott. The subject property is zoned R-10. In the Conditional Use, Site Plan and Design Review and Lot Consolidation



aspects of the application, the applicant proposes to construct a dormitory building for 60 students and 2 staff members in the rear of the site; a small addition to the existing structure in the middle of the site to be utilized as a kitchen, worshiping area and place for graduation ceremonies; and the construction of an associated office in the front of the site adjacent to Warner Parrott Road. In response to the Conditional Use, Site Plan and Design Review and Lot Consolidation aspects of application, the Planning Commission makes findings in regards to relevant portions of OCMC Chapters 17.56 and 17.62. In addition, the Planning Commission provides complete findings for the Nonconforming Use portion of the application based on the criteria set forth in OCMC Chapter 17.58. The Planning Commission makes no further findings in regards to the above-listed criteria. However, the Planning Commission recognizes that should this decision be appealed to the City Commission, the City Commissioners may choose to expand the findings related to any of the criteria listed above.

Chapter 17.56 Conditional Uses

17.56.010.A.1. *The use is listed as a conditional use in the underlying district;*

Finding: Complies as Proposed. The applicant has identified themselves as a religious institution which is listed as a conditional use in OCMC 17.08.030.I, as well as a group home for over 15 people for the dormitory portion of the proposal under OCMC 17.08.030.J. The applicant explained that:

The definition of “religious institutions” provided in Section 17.04.1014¹ (sic) is:

‘A church or place of worship or religious assembly with related facilities such as the following in any combination: rectory or convent, private school, meeting hall, offices for administration of the institution, licensed child or adult daycare, playground or cemetery.’

This application is being requested by Portland Metro Men’s Center, which is owned and operated by Teen Challenge International Pacific Northwest Centers. TCIPNC is a Christian 501(c)(3) non-profit religious organization. It provides religious training, holds regular Christian worship services, and provides faith-based counseling to students enrolled in its Christian recovery program.

We also note, however, that group homes for more than 15 people are permitted as a conditional use in this zoning district under OCMC 17.08.030.J. The dormitory portion of the use may also be authorized under this category.

The Planning Commission concurs that the applicant has proposed a use which contains aspects of a religious institution as well as a group home for over 15 people. Providing “Christian worship services” and “faith-based counseling” is sufficient to make the proposed use religious in nature and the proposed dormitory is sufficient to qualify as a group home facility. The categories identified within the Oregon City Municipal Code are general use categories and do not require specific certifications or licensing requirements. The subject site is within the “R-10” Single-Family Dwelling District and OCMC 17.08.030.I and J identify that the proposed use requires Conditional Use approval.

¹ The definition is correct but the citation should be to OCMC 17.04.1015.



17.56.010.A.2 *The characteristics of the site are suitable for the proposed use considering size, shape, location, topography, existence of improvements and natural features;*

Finding: Does not Comply. The site has been developed with a church building and associated parking lot since approximately 1963. The site is surrounded by one and two-story duplexes and single-family dwellings. The applicant proposed to construct a dormitory building for 60 students and 2 staff members in the rear of the site, a small addition to the existing structure in the middle of the site (that will be utilized as a kitchen, worship area and location for graduation ceremonies) and an associated office in the front of the site adjacent to Warner Parrott Road.

This finding of unsuitability of the proposed use considers the size of the property to house 62 people on site, as well as consideration of the size of the proposed office building:

Size: The applicant's proposal includes the construction of a dormitory for 60 students and 2 staff members in addition to an office building for the 2.13 acre property. The Oregon City Municipal Code and Comprehensive Plan do not provide a limitation or specific criteria to determine the number of people who may live in a group home, the size limitations for religious institutions or the size of offices associated with conditional uses. Thus, the Planning Commission considered the proposed site design and zoning, as well as public testimony concerned about the size and scale of the development as incompatible with the surrounding neighborhood, to determine that the proposal is too large and that 62 people living in one building on site is too intense for the low-density residential designation of R-10.

At the hearing on July 14, 2014, the applicant's attorney Mr. Reeder, claimed that the subject property could be subdivided into seven homes under the current R-10 designation and that each home could be developed and occupied by 15-person group homes with the ultimate density of 105 people at the site. This assertion seems to be based on page 2 of the April 22, 2014, KPFF memorandum that asserts (without citation) that the Fair Housing Act allows 15 disabled people to live together in a single-family residence. However, the application does not propose a subdivision of the property into seven homes, rather it proposes a single, monolithic structure to house 62 people.²

In an earlier submittal, PMMC submitted responses to the public comment to explain that if the property were zoned R-3.5, the subject property could be subdivided into 21 homes. See page 5 of PMMC's Responsive Testimony to Opponent Comments from 2-10-2014 Planning Commission Hearing

² The April 22, 2014 KPFF memorandum also contains as Exhibit E/F an unsigned September 11, 2002, letter regarding a Teen Challenge Group Home at 273 Amanda Court. The letter describes Teen Challenge's request to increase the current occupancy of its house from 10 people to 20 people. The letter further describes building improvements necessary to meet the occupancy safety standards for the increased occupancy. In addition, the letter describes that the home appears to violate the City's zoning code at that time because the occupancy exceeded the five unrelated individual definition of family that governs how many people can live in a single-family residence. The City stated it would offer a reasonable accommodation, as one potential way to remedy the zoning code violation, and requested relevant information to consider that request. If the applicant were to request a reasonable accommodation for any aspect of the current proposal, the City would analyze the facts and circumstances surrounding the 273 Amanda Court process to determine whether a reasonable accommodation was granted (beyond the unsigned letter in this record), and determine whether such reasonable accommodation request is informed by the City's treatment of Amanda Court.



submitted on February 22, 2014. PMMC's example further assumes an average size of 3 persons per household as a useful comparison and that the site could accommodate 63 people under R-3.5 zoning. However, the site is zoned R-10 and using the figure of 7 homes, and PMMC's assumed 3-person average household size, the site could support a density of only 21 people. Notwithstanding this comparison, the property is zoned R-10 and no subdivision has been proposed.

The Planning Commission finds that the proposal of 62 people living in a single dormitory structure in the R-10 zone is too intense for the subject site.

The code provides little guidance on the on the appropriate size of offices or other ancillary uses associated with a Conditional Use. The proposed single-story office building intended to support the ministry activities that occur on site is inappropriate in a residential neighborhood because the primary visual interaction from Warner Parrott Road will be an office building instead of a residential or other allowed use in the R-10 zone.

While this criterion includes consideration of the shape, location, topography, existence of improvements and natural features on the site, the Planning Commission makes no further findings in those regards. However, the Planning Commission recognizes that should this decision be appealed to the City Commission, the City Commissioners may choose to make findings in regards to these additional factors.

17.56.010.A.3. *The site and proposed development are timely, considering the adequacy of transportation systems, public facilities and services existing or planned for the area affected by the use;*

Finding: The Planning Commission makes no findings in regards to this criterion. However, the Planning Commission recognizes that should this decision be appealed to the City Commission, the City Commissioners may choose to make findings related to this criterion.

17.56.010.A.4. *The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs or precludes the use of surrounding properties for the primary uses listed in the underlying district;*

Finding: Does not Comply. The applicant submitted a Conditional Use, Site Plan and Design Review and Lot Consolidation application for property located at 405 Warner Parrott Road. The property is zoned R-10, single-family dwelling district. The R-10 zone is a residential district designed for areas of single-family homes on lot sizes of approximately 10,000 square feet. See OCMC 17.08.010. The applicant proposed to construct a dormitory building for 60 students and 2 staff members in the rear of the site; a small addition to the existing structure in the middle of the site to be utilized as a kitchen, worshiping area and place for graduation ceremonies; and the construction of an associated office in the front of the site adjacent to Warner Parrott Road.

One of the key objectives for "Residential Development" in the Comprehensive Plan is to "ensure that new development contributes to the city's livability" through "place-making." Encouraging residential "place-making" is done by identifying uses that are not only needed by a neighborhood or community as a whole, but are also sized to serve and be compatible with – and not detract from – surrounding low-impact uses. Intensifying development of the site by adding dormitory and office buildings to the site is

out of scale with the surrounding neighborhood, and adds to the commercialization of the residential neighborhood – the antithesis to “place-making.” Although the applicant submitted a handwritten drawing (at the July 14, 2014 hearing) of additional dormers to be added to the design of the dormitory building, the submittal lacked enough detail for the Planning Commissioners to find that the intensification of the development would not alter the character of the neighborhood.

The surrounding area is characterized by single and two-family dwellings in the R-10 and R-3.5 zones. The R-3.5 zone is a residential district designed for single-family attached and detached residential units and two-family dwellings on lot sizes of approximately 3,500 square feet. Paul Bell testified that the R-3.5 zoning is of recent origin and that the existing long-term zoning in the area is larger lots in the R-10 zone. Therefore, the Planning Commission finds that the proposal would be out of character with the primarily R-10 zoning in the neighborhood, and is incompatible with the R-3.5 zone that is characterized by mainly 2,000 square foot homes, as compared to the over 10,831 square foot (two-story building with 5,340 square foot footprint) proposed dormitory and 2,367 square foot proposed office.³

The proposed use of a 62-bed dormitory and associated counseling center and office buildings create a level of intensity of use that alters the character of the surrounding single-family neighborhood. The proposal would create a nearly 24 hours a day, 7 days a week presence of more than 60 people on site. It would add two additional buildings and an accessory structure on site that would commercialize the otherwise single-family, small scale development in the surrounding area. The scale and intensity of this proposal will have a visual impact and a noise impact on the surrounding single-family neighborhood that would limit and impair the use of these neighboring properties for their intended single-family use. The dormitory is not similar in character to the single-family neighborhood; rather, it is similar in character to a multi-family or hotel use, neither of which are permitted or conditional uses in either the R-10 or R-3.5 zoning districts. The scale and intensity of the use proposed is incompatible with the surrounding single-family neighborhood and incompatible with the R-10 zone.

While this criterion includes some consideration of the impacts of the proposed development to the surrounding character of the neighborhood, the Planning Commission makes no further findings in these regards. However, the Planning Commission recognizes that should this decision be appealed to the City Commission, the City Commissioners may choose to expand these findings.

17.56.010.A.5. *The proposal satisfies the goals and policies of the city comprehensive plan which apply to the proposed use.*

Finding: The Planning Commission makes no findings in regards to this criterion. However, the Planning Commission recognizes that should this decision be appealed to the City Commission, the City Commissioners may choose to make findings related to this criterion.

Chapter 17.62 Site Plan and Design Review

³ See PMMC’s response to comments submitted February 22, 2014 that states the total enclosed space of the dormitory will be 10,831 square feet.



17.62.050.A.3 *Building structures shall be complimentary to the surrounding area. All exterior surfaces shall present a finished appearance. All sides of the building shall include materials and design characteristics consistent with those on the front. Use of inferior or lesser quality materials for side or rear facades or decking shall be prohibited.*

Finding: Does Not Comply. The proposed dormitory building and office building designs are not complimentary to the surrounding area. The architecture and design of these two buildings are not residential in nature and are not compatible with single-family homes. Although the applicant submitted a handwritten drawing (at the July 14, 2014 hearing) of additional dormers to the dormitory building, the submittal lacked enough detail for the Planning Commissioners to find that the intensification of the development would not alter the character of the neighborhood.

17.62.055.C.1. *Building design shall contribute to the uniqueness of the underlying zoning district by applying appropriate materials, elements, features, color range and activity areas tailored specifically to the site and its context.*

Finding: Does Not Comply. The underlying zoning district is the R-10 single-family dwelling district. The design of the proposed dormitory and office buildings is not complimentary to the surrounding area. The architecture and design of the dormitory and office buildings are not residential in nature and are not compatible with single-family homes because the buildings were designed to fit within the context of the neighborhood.

CHAPTER 17.58 – NONCONFORMING USES, STRUCTURES AND LOTS

Nonconforming situations are created when the application of zoning district to a site changes or the zoning regulations change. As part of the change, existing uses, density, or development might no longer be allowed or are further restricted. Nonconforming uses, structures and lots are those uses, structures and lots that were lawfully established but do not conform to the provisions of this title or the provisions of the zoning district in which the use, structure or lot is located. The intent of these provisions is not to force all nonconforming situations immediately to be brought into conformance. Instead, the intent is to guide nonconforming situations in a new direction consistent with city policy, and, eventually, bring them into conformance.

A use that was lawfully established on a particular development site but that no longer complies with the allowed uses or the standards for those uses in this title may be considered a lawful nonconforming use. Change of ownership, tenancy, or management of a lawfully established nonconforming use shall not affect its lawful nonconforming status. The continuation of a lawful nonconforming use is subject to the following:

17.58.015 - Applicability.

The regulations of this chapter apply only to those nonconforming situations that were lawfully established or that were approved through a land use decision. All nonconforming structures, uses or lots shall have been maintained over time. These situations have lawful nonconforming status. Nonconforming situations that were not allowed when established or have not been maintained over time have no lawful right to continue.

Finding: Applicable. The current use of the site is not listed in the permitted uses for the zone, thus, the applicant has submitted this application to verify that the current use was legally established.



The 1954 Oregon City Municipal code required Planning Commission approval for churches in residential zones. Although there is no direct evidence that the 1954 zoning code applied at the time of original construction, or that the site was zoned R-1 at the time of original construction, zoning codes and maps from years prior and subsequent to 1961 lead staff to conclude that the site was zoned R-1 at that time. Thus, it is concluded that Planning Commission approval for the church would have been required. Neither the City, nor the applicant, provided documentation showing the original land use approval for the church built on site in 1961. However, there is enough evidence to make the determination that the use was legally established:

- Building permits issued by the City in 1961 for the construction of a church on the subject site.
- Planning file CU 80-04: The file states the site has been utilized as a church since approximately 1963. In 1976, the City approved an expansion of the church building and other site improvements. In 1980, the property owner applied for a Conditional Use with the Planning Commission for the addition of a private school onsite (Planning file CU 80-04, Exhibit 3). The Conditional Use was denied because site improvements related to the 1976 expansion (including parking lot pavement, landscaping, stormwater improvements, and a sidewalk along Warner Parrott) had not been completed. The Planning Commission advised the church to return with more complete plans that included the required site improvements; however, no subsequent application was submitted by that property owner. The record in this file does not question whether the church obtained Planning Commission approval when it was originally constructed in 1961.
- A letter from Ed and Evelyn Brubaker whom recalled their family's experience attending church at the subject site from 1964 until 2012. The letter additionally accounted for the pastors of the church during that time span.

From the information provided, the Planning Commission concludes that the use of the property was legally established.

17.58.030. *A use that was lawfully established on a particular development site but that no longer complies with the allowed uses or the standards for those uses in this title may be considered a lawful nonconforming use. Change of ownership, tenancy, or management of a lawfully established nonconforming use shall not affect its lawful nonconforming status. The continuation of a lawful nonconforming use is subject to the following:*

17.58.030.A. *Discontinuance. If a lawful nonconforming use is discontinued for a period of one year, it shall lose its lawful nonconforming status and the use of the property thereafter shall conform with the existing provisions of this title. If a nonconforming use ceases operations, even if the structure or materials related to the use remain, the use shall be deemed to have been discontinued.*

Finding: Complies with Condition. The City interprets the length of continuing use under this section based on the 20-year time period identified in OCMC 17.58.060.B, where the applicant is required to demonstrate that "the nonconforming use or structure has not become more nonconforming within the past twenty years from the date of application." Thus, the applicant is only required to demonstrate continuous usage of the site for 20 years. Please refer to the analysis in OCMC 17.58.060.A which determines if the use was lawfully established. The following documentation was utilized to determine if the Tax Lots had been continuously utilized:



- A letter dated March 31, 2014 from Rev. Michael J. Gerlicher, CPA from the Oregon Ministry Network of the Assemblies of God. The letter indicated that on May 4, 1962 the subject site was deeded to both the Assemblies of God, Oregon District, Inc. and the local church known as Assembly of God of Oregon City whereby the congregation operated continuously without interruption until the last service on April 29, 2012. Shortly thereafter, the site entered into a contract with Teen Challenge Pacific Northwest.
- A letter dated March 28, 2014 from Rev. Michael Durant who recalled his (and his families) experience attending the church at the subject site from October, 1978 until the facility closed in April 2012. The letter accounted for the pastors of the church during that time span, as well as the change in name of the facility.
- A letter from Ed and Evelyn Brubaker whom recalled their families experience attending church at the subject site from 1964 until 2012. The letter additionally accounted for the pastors of the church during that time span.
- Utility bills showing there was continuous use of the site. There has been no gap in water and sanitary sewer service from 1986 to 2012
- Aerial photographs of the site from 2000 to 2013. These photos show no change in the property. While some of the images show no cars in the parking lot, no conclusions can be drawn because these images are taken just once a year.

Based on the information provided and the above analysis, the City concludes that the use of the property has operated continuously to this date.

17.58.030.B. Conformance. *If a lawful nonconforming use is converted to a conforming use, no nonconforming use may be resumed.*

Finding: Not Applicable. The property has not been converted to a conforming use.

17.58.030.C. Destruction of a Non-residential Use. *When a structure containing a lawful nonconforming non-residential use is damaged by fire or other causes, the re-establishment of the nonconforming use shall be prohibited if the repair cost of the structure is more than sixty percent of its assessed value.*

Finding: Not Applicable. The applicant has not claimed destruction of a non-residential use by fire or other causes.

17.58.030.D. Destruction of a Residential Use. *When a structure containing a lawful nonconforming residential use is damaged by fire or other causes, the re-establishment of the nonconforming use shall be permitted.*

Finding: Not Applicable. The applicant has not claimed destruction of a residential use by fire or other causes.

17.58.030.E. Intentional Destruction. *When a structure containing a nonconforming use is removed or intentionally damaged by fire or other causes within the control of the owner, the re-establishment of the nonconforming use shall be prohibited.*

Finding: Not Applicable. The record contains no evidence that the applicant intentionally destroyed any use on the site.



17.58.030.F. Expansion. *No lawful nonconforming use may be replaced by a different type of nonconforming use, nor may any legal nonconforming use be expanded or intensified.*

Finding: Religious institution is defined in OCMC 17.04.1015 as:

“A church or place of worship or religious assembly with related facilities such as the following in any combination: rectory or convent, private school, meeting hall, offices for administration of the institution, licensed child or adult daycare, playground or cemetery.”

Religious institutions commonly have various uses such as those described in the definition. The City has accepted these various uses as falling under the umbrella of religious institutions in many other cases within Oregon City. The City has never set a threshold for the intensity, frequency, timing, or size of the related facilities and uses for religious institutions. Based on the definition of religious institution, the Planning Commission considers the applicant’s daytime use of the property as a religious-based recovery center a “related facility.”

17.58.040.C.2. *An expansion of a nonconforming structure with alterations that exceed the threshold of Subparagraph C.2.a below shall comply with the development standards listed in Subparagraph C.2.b. The value of the alterations and improvements is based on the entire project and not individual building permits.*

Findings: Applicable. The worship services building was constructed before the adoption of this zoning code and does not meet a variety of criteria including design, landscaping or parking lot standards, etc. Expansion of the non-conforming worship services building requires compliance with OCMC 17.58.040.C.2.

17.58.040.C.2.a *Thresholds triggering compliance. The standards of Subparagraph C.2.b below shall be met when the value of the proposed exterior alterations or additions to the site, as determined by the Community Development Director, is more than \$75,000. The following alterations and improvements shall not be included in the threshold calculation:*

- (1) *Proposed alterations to meet approved fire and life safety agreements;*
- (2) *Alterations related to the removal of existing architectural barriers, as required by the Americans with Disabilities Act, or as specified in Section 1113 of the Oregon Structural Specialty Code;*
- (3) *Alterations required to meet Seismic Design Requirements; and*
- (4) *Improvements to on-site stormwater management facilities in conformance with Oregon City Stormwater Design Standards.*

Findings: Not Applicable. As a result of the Planning Commission’s denial of CU 13-01: Conditional Use, SP 13-11: Site Plan and Design Review and LL 13-04: Lot Consolidation, the Planning Commission concludes that the project will not cost more than \$75,000, and does not require improvement in association with OCMC 17.52.040.C.2.a. Therefore, the applicant is not required to comply with the requirements set forth in OCMC 17.58.040.C.2.b-d.

17.58.040.C.2.b *Standards that shall be met. Developments not complying with the development standards listed below shall be brought into conformance.*

- (1) *Pedestrian circulation systems, as set out in the pedestrian standards that apply to the sites;*
- (2) *Minimum perimeter parking lot landscaping;*



- (3) *Minimum interior parking lot landscaping;*
- (4) *Minimum site landscaping requirements;*
- (5) *Bicycle parking by upgrading existing racks and providing additional spaces in order to comply with 17.52 Off-Street Parking and Loading;*
- (6) *Screening; and*
- (7) *Paving of surface parking and exterior storage and display areas.*

Findings: Not Applicable. See findings for OCMC 17.58.040.C.2.a above.

17.58.040.C.2.c *Area of required improvements.*

- (1) *Generally. Except as provided in C.2.c(2) below, required improvements shall be made for the entire site.*
- (2) *Exception for sites with ground leases.*

Findings: Not Applicable. See findings for OCMC 17.58.040.C.2.a above.

17.58.040.C.2.d. *Timing and cost of required improvements. The applicant may choose one of the two following options for making the required improvements:*

- (1) *Option 1. Required improvements may be made as part of the alteration that triggers the required improvements. The cost of the standards that shall be met, identified in Subparagraph C.2.b above, is limited to 10% of the value of the proposed alterations. It is the responsibility of the applicant to document to the Community Development Director the value of the required improvements. Additional costs may be required to comply with other applicable requirements associated with the proposal. When all required improvements are not being made, the priority for the improvements shall be as listed in Subparagraph C.2.b above.*
- (2) *Option 2. Required improvements may be made over several years, based on the compliance period identified in Table 17.58 – 1 below.*

Findings: Not Applicable. See findings for OCMC 17.58.040.C.2.a above.

17.58.060 - *Process to confirm the legality of a nonconforming use, lot or structure.*

Any person may request a Type I or a Type II review to confirm the legality of a nonconforming use, lot or structure.

Finding: Complies as Proposed. The applicant submitted an application for a Type II Nonconforming Use Review. The applicant requested that this application be considered a supplement to its pending applications - CU 13-01: Conditional Use, SP 13-11: Site Plan and Design Review and LL 13-04: Lot Consolidation. Therefore, this Nonconforming Use determination is reviewed as a Type III decision.

In order to confirm that the nonconforming use, lot or structure is legal, sufficient evidence shall be submitted to the city determining the following:

17.58.060.A. *The nonconforming use or structure was established lawfully; and*

Finding: Complies as Proposed. The 1954 Oregon City Municipal code required Planning Commission approval for churches in residential zones. Although there is no direct evidence that the 1954 zoning code applied at the time of original construction, or that the site was zoned R-1 at the time of original construction, zoning codes and maps from years prior and subsequent to 1961 lead staff to conclude that the site was zoned R-1 at that time. Thus, it is concluded that Planning Commission approval for



the church would have been required. Neither the City nor the applicant provided documentation showing the original land use approval for the church built on site in 1961. However, there is enough evidence to make the determination that the use was legally established:

- Building permits issued by the City in 1961 for the construction of a church on the subject site support a finding of compliance with applicable laws at the time of issuance.
- Planning file CU 80-04: The file states the site has been utilized as a church since approximately 1963. In 1976, the City approved an expansion of the Church building and other site improvements. In 1980, the property owner applied for a Conditional Use with the Planning Commission for the addition of a private school onsite (Planning file CU 80-04, Exhibit 3). The Conditional Use was denied because site improvements related to the 1976 expansion (including parking lot pavement, landscaping, stormwater improvements, and a sidewalk along Warner Parrott) had not been completed. The Planning Commission advised the Church to return with more complete plans that included the required site improvements; however, no subsequent application was submitted by that property owner. The record in this file does not question whether the Church obtained Planning Commission approval when it was originally constructed in 1961.
- A letter from Ed and Evelyn Brubaker whom recalled their family's experience attending church at the subject site from 1964 until 2012. The letter additionally accounted for the pastors of the church during that time span.

Based on the information provided and the above analysis, the City concludes that the use of the property was legally established.

17.58.060.B. *The nonconforming use or structure has not become more nonconforming within the past twenty years from the date of application.*

Finding: See discussion in Chapter 17.58.030.F: Expansion.

DECISION: Based on the foregoing findings, the Planning Commission denies CU 13-01: Conditional Use, SP 13-11: Site Plan and Design Review and LL 13-04: Lot Consolidation, and approves LN 14-04: Nonconforming Use Determination application for continued day use counseling at the property as a nonconforming religious institution.



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Staff Report

File Number: PC 14-083

Agenda Date: 7/28/2014

Status: ATS Review

To: Planning Commission

Agenda #: 4c.

From: Community Development Director Tony Konkol

File Type: Planning Item

SUBJECT:

Proposed annexation of 5.5 acres at 19588 S McCord Road (Planning File: AN 14-01).

RECOMMENDED ACTION (Motion):

Staff recommends that the Planning Commission recommend approval of the proposed annexation to the City Commission for their consideration at the August 6, 2014 public hearing.

BACKGROUND:

Staff has prepared recommended findings regarding compliance with OCMC Chapter 14.04 - Annexation, and recommended conditions for approval of the proposed annexation. Please see attached Staff Report.

BUDGET IMPACT: See report.

Amount:

FY(s):

Funding Source:



OREGON CITY

FILE NO.: AN 14-01

APPLICATION TYPE: Annexation (0.89 acres)

HEARING DATES: Planning Commission - June 23, 2014 - 7:00 p.m., City Hall, Commission Chambers
625 Center Street, Oregon City, OR 97045 (Continued)

Planning Commission - July 28, 2014 - 7:00 p.m., City Hall, Commission Chambers
625 Center Street, Oregon City, OR 97045

City Commission – August 6, 2014 - 7:00 p.m., City Hall, Commission Chambers
625 Center Street, Oregon City, OR 97045

APPLICANT: Brian D'Ambrosio and Valerie Hunter, 3336 SE Belmont, Portland, OR 97215

REPRESENTATIVE: AKS Engineering, 13910 SW Galbreath Dr, Ste. 100, Sherwood, OR 97214

OWNER: David G. Douglass, 19588 S McCord Road, Oregon City, OR 97045

REQUEST: Annexation of approximately 5.5 acres into the City of Oregon City. The site is within the Oregon City Urban Growth Boundary and has a Comprehensive Plan designation of LR – Low Density Residential.

LOCATION: 19588 S. McCord Road, Oregon City, OR 97045
Located on the northeast side of McCord Road, west of Leland Road
Clackamas County Map 3-2E-07B -04100 (See Maps, Exhibit 1).

REVIEWER: Pete Walter, AICP, Associate Planner

COMPREHENSIVE
PLAN DESIGNATION: LR – Low Density Residential

CURRENT ZONING: Clackamas County Future Urbanizable 10-Acre District (FU-10)

RECOMMENDATION: Approval

REVIEW PROCESS: Annexation Petitions are reviewed by the Planning Commission and City Commission at noticed Public Hearings. The City Commission shall endeavor to review all proposals prior to the city application deadline for submitting ballot measures to the voters. The City Commission shall only set for an election annexations

consistent with a positive balance of the factors set forth in Section 14.04.060 of the Oregon City Municipal Code. The City Commission shall make findings in support of its decision to schedule an annexation for an election.

DESCRIPTION OF PETITION

The applicant seeks to annex one (1) parcel into the City of Oregon City. The parcel is currently located within unincorporated Clackamas County, inside the original 1979 Portland Urban Growth Boundary, ordinance 79-77 adopted 11/8/1979, and within the Urban Growth Management Agreement (UGMA) Area of Oregon City and Clackamas County. The area of the proposed annexation is located on the northeast side of McCord Road, west of Leland Road. The area is comprised of one (1) tax lot totaling 5.26 acres along with the abutting right of way on S. McCord Road and Leland Road for a total area of approximately 5.5 acres.

The application includes a completed petition on the City's standard form in Exhibit 1.

APPLICANT'S NARRATIVE STATEMENT

The applicant prepared a detailed narrative in response to OCMC 14.04.050. The applicant's narrative is attached in Exhibit 1.

EXISTING CONDITIONS AND LAND USE

Currently the 5.26 acre parcel has a County Zoning designation of FU-10 Future Urban – (10 acre minimum), and is developed with one single family residence (built in 1978) and three outbuildings. The majority of the undeveloped portion of the property is a Christmas tree farm.

The site is bordered by subdivisions and the City of Oregon City limits on the northwest and northeast and is bordered by large lot single family residences to the southeast side. The property has access to McCord Road along the southwest side of the property. There are currently two residents who reside on the proposed annexation site. The 2014 assessed valuation for the property is \$379,860. The site is not on or near any natural hazards identified by the City (such as wetlands, floodplains, and steep slopes). The site is not on, near, nor will it affect designated open space, scenic, historic, or natural resource areas.

The parcel is currently zoned Clackamas County Zoning Designation of Future Urbanizable (FU-10) and is located adjacent to the City limits. Under the Clackamas County / Oregon City UGMA, the lot is designated Low Density Residential (LR) in the Oregon City Comprehensive Plan. If successfully annexed, the LR-designated lot will be zoned by default to R-10 Single Family Dwelling District, unless a different zoning is requested by the applicant and approved by the City.

Existing Public Utilities

The property is currently served by Clackamas River Water (CRW) for water service. The property is not currently served for sanitary sewer or storm water management facilities. The site would need to be annexed to Tri-City Service District separately following approval of annexation to the City. City sanitary sewer is located in Anita Place, Joseph Way, Villard Place and Pelican Lake Place (that would connect from the Pavilion Park subdivision), both of which

border the property along the northwest property line, as well as Leland Road approximately 200 feet northeasterly from the subject sites' southeasterly property corner. A stormwater main is also located in Anita Place along with a stormwater facility being located close to the northwesterly property corner. If the subject property is annexed and then developed in the future, connections to sanitary and stormwater services can be made available to serve the subject site.

Review Process

Under the City's Annexation Code Chapter 14.04, the Planning Commission reviews annexation proposals and makes a recommendation to the City Commission. If the City Commission decides the proposed annexation should be approved, the City Commission is required by the City Charter to submit the annexation to the electors of the City. If a necessary party raises concerns prior to or at the City Commission's public hearing, the necessary party may appeal the annexation to the Land Use Board of Appeals within 14 days of the date of the City Commission's decision.

REGIONAL PLANNING CONSIDERATIONS

This parcel is within the original 1979 UGB area, approved by Metro Ord. 79-77 which was adopted by Metro 11/8/1979 (Exhibit 5). In 2002, Metro passed Title 11 to require Concept Plans for urban growth boundary expansions before those lands may be annexed by the City. Since this property was already within the UGB before 2002 it is not subject to the Title 11 Concept Planning requirement. However, the property annexation still must show compliance with Metro Code 3.09, as documented in this staff report.

APPROVAL CRITERIA

CHAPTER 14.04 - CITY BOUNDARY CHANGES AND EXTENSION OF SERVICES

OCMC 14.04.020 - State and regional regulations regarding annexations, other boundary changes and extensions of services.

The regulations and requirements of ORS Ch. 222, and Metro Code Section 3.09, are concurrent obligations for annexation and are not affected by the provisions of this chapter.

Finding: Consideration of ORS 222 and Metro Code 3.09 is included later in this staff report.

OCMC 14.04.060 - Annexation Factors.

A. When reviewing a proposed annexation, the commission shall consider the following factors, as relevant:

1. ADEQUACY OF ACCESS TO THE SITE;

Finding: The proposed annexation site has adequate access. Access to the property is currently provided by way of a private driveway from S. McCord Road. The property also has frontage on Leland Road. Both sections of Leland Road

and McCord Road abutting the property are currently under Clackamas County jurisdiction. The Urban Growth Management Agreement (UGMA) with Clackamas County (Exhibit 6) requires that the annexation proposal shall include the adjacent road right-of-way of the property proposed for annexation and that the applicant shall provide a correct map and legal description for the adjacent road-right-of way before the resolution forwarding the annexation to the voters is approved. The applicant has provided the required map and legal description.

2. CONFORMITY OF THE PROPOSAL WITH THE CITY'S COMPREHENSIVE PLAN;

Section 14 of the Oregon City Comprehensive Plan is entitled "Urbanization." Several goals and policies in this section are pertinent to proposed annexations. Additionally, the following narrative excerpts from the Comprehensive Plan expand on the City's annexation philosophy and requirements (excerpted from Page 118, Chapter 14).

The City is required to refer all proposed annexations to the voters. Rather than having voter approval of individual property owners' requests to annex, the City should prepare and implement an annexation plan and program. The City could then annex large blocks of properties (with voter approval) at one time, rather than in a piecemeal fashion. Annexation would be tied more directly to the City's ability to provide services efficiently, maintain regular city boundaries, and help the city meet Metro targets for housing and employment. The zoning of the property should be decided at the time the Planning Commission and City Commission review and approve the annexation request.

Applications for annexation, whether initiated by the City or by individuals, are based on specific criteria contained in the City's municipal code. Metro and state regulations promote the timely and orderly provision of urban services, with which inappropriate annexations can conflict. Therefore, an annexation plan that identifies where and when areas might be considered for annexation can control the expansion of the city limits and services to help avoid those conflicts and provide predictability for residents and developers. Other considerations are consistency with the provisions of this comprehensive plan and the City's public facility plans, with any plans and agreements of urban service providers, and with regional annexation criteria.

The City has not prepared an annexation plan and program to facilitate wholesale large block area annexations. Until such a methodology and process is in place, annexation will continue in a parcel-by-parcel fashion such as this proposal. This annexation is still sufficiently tied to the City's ability to provide services efficiently with the logical extension of physical utility lines as described in the application. This annexation does maintain regular city boundaries since about 1,069' of the property touches the city limits.

The following Oregon City Comprehensive Plan annexation goals and policies are factors for approval of annexations.

Urbanization Goal 14.4: Annexation of Lands to the City - Annex lands to the city through a process that considers the effects on public services and the benefits to the city as a whole and ensures that development within the annexed area is consistent with the Oregon City Comprehensive Plan, City ordinances, and the City Charter.

Finding: The proposed annexation is consistent with Goal 14.4. The city annexation process is set out in Chapter 14 of the Municipal Code. By requiring compliance with that Code, the Metro Code, and the Statewide Planning Rules, the City identifies the effects that build-out of annexed properties will have on public services and any benefits to the city as a

whole. Since the property has been located within the UGB since 1979, appropriate City Master Plans, such as the Transportation System Plan, and Water and Sewer Master Plans for example, are up to date and address the future impacts of development of the properties.

Policy 14.4.1 - In order to promote compact urban form to support efficient delivery of public services, lands to be annexed must be within the City's Urban Growth Boundary, and must be contiguous to the existing City limits. Long linear extensions, such as cherry stems and flag lots, shall not be considered contiguous to City limits.

Finding: The proposed annexation is consistent with Policy 14.4.1. The proposed property is contiguous to the City limits along a majority of its perimeter by touching the City boundary. There are no flag lots or long linear extensions involved in the proposed annexation. If the annexation is approved the area would complete a contiguous block of land within the City which upon subsequent zoning and development will promote compact urban form and the efficient delivery of public services.

Policy 14.4.2 - Concept Plans and Sub-area Master Plans for unincorporated areas within the Urban Growth Boundary shall include an assessment of the fiscal impacts of providing public services to the area upon annexation, including the costs and benefits to the city as a whole.

Finding: The proposed annexation is consistent with Policy 14.4.2. The parcel was brought into the UGB prior to the Title 11 Concept Planning requirement. The applicant has provided an adequate assessment of the fiscal impacts of providing public services to the site. Annexation alone of the subject property will not fiscally impact the City of Oregon City. There will not be any additional demand of fire services, as the property is currently within and served by Clackamas County Fire District #1. The City will collect SDC fees when development occurs or the existing house is connected to sewer, and the development of the property will be required to extend public utilities across the property.

The property is currently being served by Clackamas County Sheriff's Office, but will be annexed into and served by the Oregon City Police Department upon annexation. The police department did not comment that it cannot serve the property. Utility (water, sewer and drainage) connections would be paid for through SDC fees, or when the existing house connects to the utilities. Additional property would also result in additional property tax revenue.

Policy 14.4.3 - When an annexation is requested, the Commission may require that parcels adjacent to the proposed annexation be included to:

- avoid creating unincorporated islands within the city;
- enable public services to be efficiently and cost-effectively extended to the entire area; or
- implement a Concept Plan or Sub-area Master Plan that has been approved by the Commission.

Finding: This proposed annexation does not create unincorporated islands within the city. Due to the subject parcel's proximity to existing public service infrastructure, the proposed annexation enables efficient extension of public services without the need to include adjacent parcels.

Policy 14.4.4 - The City may, as provided by state law, provide sewer service to adjacent unincorporated properties when a public health hazard is created by a failing septic tank sewage system; the Commission may expedite the annexation of the subject property into the city, subject to any voter approvals of annexations.

Finding: Not applicable. A sewer public health hazard does not exist for the property at this time. Annexation of the subject property will not affect sewer service as the property is currently served by private septic system. The

applicant will file the appropriate documents for annexation into the Tri-City Service District if the annexation is successful. If the subject property were to divide in the future, the existing sanitary mains could be extended and made available for connection.

Therefore, this proposal is consistent with Goal 14.4 and its' policies 14.4.1 – 14.4.4 of the City's Comprehensive Plan.

The Public Facilities Section of the Comprehensive Plan contains the following pertinent Goals and Policies.

Goal 11.1 Provision of Public Facilities - Serve the health, safety, education, welfare, and recreational needs of all Oregon City residents through the planning and provision of adequate public facilities.

Policy 11.1.1

Ensure adequate public funding for the following public facilities and services, if feasible:

- *Transportation infrastructure*
- *Wastewater collection*
- *Stormwater management*
- *Police protection*
- *Fire protection*
- *Parks and recreation*
- *Water distribution*
- *Planning, zoning and subdivision regulation*
- *Library services*
- *Aquatic Center*
- *Carnegie Center*
- *Pioneer Community Center*
- *City Hall*
- *Buena Vista House*
- *Ermatinger House*

Finding: The proposed annexation is consistent with Goal 11.1 and Policy 11.1.1. The City Plan's Policy 11.1.1 defines the scope of "urban facilities and services" as it pertains to annexation. The City's Comprehensive Plan is more inclusive in its definition of what services are considered an "urban service" than is the Metro Code. The City's Comprehensive Plan adds police services, fire protection and planning, zoning and subdivision regulation to the list of urban services that are to be considered by the Metro Code. The Metro Code also includes mass transit in addition to streets and roads.

The applicant has provided a detailed explanation of the "Availability, capacity and status of existing water, sewer, drainage, transportation, park and School Facilities" needed to serve the proposed annexation area and City staff agrees that the explanation satisfies urban facilities and services goal and policy. If the property is divided and developed, the property will be required to connect to the city's water, sewer and storm water system and would pay the appropriate connection fees, and/or SDCs and on-going user fees, thereby paying a fair share.

Policy 11.1.3 - Confine urban public facilities and services to the city limits except where allowed for safety and health reasons in accordance with state land use planning goals and regulations. Facilities that serve the general public will be centrally located and accessible, preferably by multiple modes of transportation.

Policy 11.1.4 Support development on underdeveloped or vacant buildable land within the City where urban facilities and services are available or can be provided and where land use compatibility can be found relative to the environment, zoning, and comprehensive plan goals.

Policy 11.1.5 Design the extension or improvement of any major urban facility and service to an area to complement other urban facilities and services at uniform levels.

Finding: The proposed annexation is consistent with Policies 11.1.3 and 11.1.4 that encourage development on sites within the City where urban facilities and services are either already available or can be provided. Development of the annexation site could help the city meet Metro targets for housing.

This policy implies that lands that cannot be provided urban services should not be annexed. The proposed land in this annexation can be provided urban services.

The proposed annexation is consistent with Policy 11.1.5, which requires that the installation of a major urban facility or service should be coordinated with the provision of other urban facilities or services. No major urban facility or service is required here; rather, it would require normal extension of water and sanitary sewer from the existing utility stubs in adjacent local streets at the time of re-development.

Read together, these policies suggest that when annexing lands, the City should consider whether a full range of urban facilities or services are available or can be made available to serve the territory to be annexed. Oregon City has implemented these policies with its Code provisions on processing annexations, which requires the City to consider adequacy of access and adequacy and availability of public facilities and services. Overall, it appears that the City can provide urban service capacity to this area.

Goal 11.2: Wastewater

Seek the most efficient and economic means available for constructing, operating, and maintaining the City's wastewater collection system while protecting the environment and meeting state and federal standards for sanitary sewer systems.

Policy 11.2.2 Plan, operate and maintain the wastewater collection system for all current and anticipated city residents within the existing urban growth boundary. Strategically plan for future expansion areas.

Finding: The proposed annexation is consistent with Goal 11.2 and Policy 11.2.2. Since all new development on annexed lands is required to connect to the sanitary sewer system, this policy suggests that a measure of the adequacy of the sanitary system should be whether it could serve the potential level of development provided for by the Comprehensive Plan and Zoning designations. The City operates the sanitary sewer collection system, which connects to the Tri-City Service District interceptor. The nearest City sanitary sewer mains to the property are 8-inch lines in Anita Place, Pelican Lake Place, Joseph Way, and Villard Place. If the subject property is subdivided in the future these facilities are available for connections. If the subject property is subdivided and additional homes built in the future, the

existing home and additional home(s) would connect to the City's sewer system and would pay connection fees, SDC's and ongoing user fees, thereby paying a fair share.

Policy 11.2.3 - Work with Tri-City Service District to provide enough capacity in its collection system to meet standards established by the Oregon Department of Environmental Quality (DEQ) to avoid discharging inadequately treated sewage to surface waters.

Finding: The proposed annexation is consistent with Policy 11.2.3. Before sanitary sewers can be extended to lands annexed to the City, those lands will need to annex to the Tri-City Service District. The property owner is required to separately petition to initiate annexation to Tri-City Service District after annexation to the City. The City Commission should concur with Tri-City Service District's annexation of the subject property in the enacting ordinance upon voter approval of the annexation. This recommendation has been included in the proposed findings at the end of this report.

Goal 11.3 - Water Distribution

Seek the most efficient and economic means available for constructing, operating, and maintaining the City's water distribution system while protecting the environment and meeting state and federal standards for potable water systems.

Policy 11.3.1 - Plan, operate and maintain the water distribution system for all current and anticipated city residents within its existing urban growth boundary and strategically plan for future expansion areas.

Finding: The proposed annexation is consistent with Goal 11.3 and Policy 11.3.1. The subject property is currently within and served by the Clackamas River Water (CRW) District service area. There are two (2) 8-inch City water mains along the northwest property line from the Pavilion Park Subdivision, and there are two (2) 8-inch OD City water mains along the northeast property line from the Rian Park Subdivision. If the property is subdivided and additional home(s) built, they would connect to the existing water system and the appropriate connection fees, and/or SDC's and on-going user fees would be paid, thereby paying a fair share.

The existing 8-inch water mains have adequate capacity to serve additional homes if the subject property is subdivided sometime in the future.

The subject property is currently within and served by the Clackamas River Water (CRW) District service area. CRW has no objections to the proposal and requests that the City withdraw Tax Lot 4100 of Tax Map 32E07B from the CRW's district service boundary (Exhibit 4). If the property is developed, the new development would connect to the existing city water system and would pay the appropriate connection fees, and/or SDCs and on-going user fees, thereby paying a fair share.

Goal 11.4 - Stormwater Management

Seek the most efficient and economical means available for constructing, operating, and maintaining the City's stormwater management system while protecting the environment and meeting regional, state, and federal standards for protection and restoration of water resources and fish and wildlife habitat.

Policy 11.4.1 - Plan, operate, and maintain the stormwater management system for all current and anticipated city residents within Oregon City's existing urban growth boundary and strategically plan for future expansion areas.

Finding: The proposed annexation is consistent with Goal 11.4 and Policy 11.4.1. Currently there is no formal storm water management facility for the subject parcel. This annexation will not result in any changes to the storm water drainage. Storm water collection and connection would not be required with the subject property's annexation, but would be required if the property were to divide and develop in the future. Existing 12-inch storm lines in Anita Place, Pelican Lake Place, Joseph Way, or Villard Place are available for connection. Any future development would be reviewed for compliance with the city's adopted storm water management standards. If the property is subdivided in the future, the properties would be connected to the City's storm water system and would pay connection fees, SDC's and ongoing user fees, thereby paying a fair share.

Goal 11.9: Fire Protection - Maintain a high level of fire suppression and emergency medical services capacity.

Policy 11.9.1 - Ensure that all areas, including newly annexed areas, receive fire protection and emergency medical services.

Finding: The proposed annexation is consistent with Goal 11.9 and Policy 11.9.1. Clackamas Fire District #1 provides all fire protection for the City since the entire City was annexed into their district in 2007. The subject annexation area is also already located within the CFD#1 district so there is no action required for fire protection. Police services will be provided by Oregon City Police Department upon annexation to the City based on property taxes. The Police Department was provided notice of this annexation and did not comment that there is inadequate police capacity to serve the property.

Based on consistency with the goals and policies listed above, the proposed annexation is consistent with the Oregon City Comprehensive Plan.

3. ADEQUACY AND AVAILABILITY OF PUBLIC FACILITIES AND SERVICES TO SERVICE POTENTIAL DEVELOPMENT;

This section of the staff report addresses each urban service to determine whether the services are currently available or can be made available at an adequate level to serve the potential development of the property under the current planning designation and zoning that implements it. The adequacy and availability of existing public facilities and services is also addressed in the Metro Code 3.09 section of this Staff Report.

Sanitary Sewer

Availability

At this time the subject property is not connected to a sanitary sewer system, nor is it within the service area of a sewer district. The existing residence is served by private septic system. Tri-City Service District provides wastewater treatment for Oregon City. Per the Pre-Application Conference notes, the applicant will file the appropriate documents for annexation into the Tri-City Service District following successful annexation to the City, but no sewer connection is anticipated at this time. The City operates the sanitary sewer collection system, which connects to the Tri-City Service District interceptor. Sanitary sewer is available to the subject property if it is divided in the future. The nearest City sanitary sewer mains to the property are 8-inch lines in Anita Place, Pelican Lake Place, Joseph Way, and Villard Place. If the subject property is subdivided in the future these facilities are available for connections. If the subject property is

subdivided and additional homes built in the future, the existing home and additional home(s) would connect to the City's sewer system and would pay connection fees, SDC's and ongoing user fees, thereby paying a fair share.

Capacity

The Tri-City Service District has adequate capacity to serve the subject property if it is subdivided and additional homes are constructed in the future.

Status

As noted above, the applicant will file the appropriate documents for annexation into the Tri-City Service District, following successful annexation to the City. If the subject property is subdivided in the future, the sanitary mains in Anita Place, Pelican Lake Place, Joseph Way, and Villard Place are available as connection points for public sewer service.

Water

Availability

The subject property is currently within and served by the Clackamas River Water (CRW) District service area. There are two (2) 8-inch City water mains along the northwest property line from the Pavilion Park Subdivision, and there are two (2) 8-inch OD City water mains along the northeast property line from the Rian Park Subdivision. If the property is subdivided and additional home(s) built, new water connections would be established with these existing water mains. If the property is subdivided and additional home(s) built, the new development would connect to the existing water system and the appropriate connection fees, and/or SDC's and on-going user fees would be paid, thereby paying a fair share.

Capacity

The existing 8-inch water mains have adequate capacity to serve additional homes if the subject property is subdivided in the future.

Status

The subject property is currently within and served by the Clackamas River Water (CRW) District service area. If the property is subdivided in the future, the additional home(s) would obtain water service from Oregon City. Please also refer to the memorandum from the applicant's professional engineer discussing the adequacy of public facilities for further information

Clackamas River Water (CRW) commented on the application (Exhibit 4) and stated that the application does not conflict with its interests and requests that the City withdraw the property from CRW's service district boundary.

CRW's recommendation has been incorporated into the findings, reasons for decision and recommendations attached.

Stormwater

Availability

Currently there is no formal stormwater management facility for the subject parcel. Stormwater collection and connection is not required with the subject property's annexation, but in accordance with the City's adopted standards, will be required if the property is subdivided in the future. Existing 12-inch storm lines in Anita Place, Pelican Lake Place, Joseph Way, or Villard Place are available for future connection. If the property is subdivided, the properties would be connected to the City's stormwater system and would pay connection fees, SDC's and ongoing user fees, thereby paying a fair share.

Capacity

If the property is subdivided in the future, a stormwater report will be required to demonstrate that the existing system has the capacity to serve the property.

Status

As noted above, if the property is subdivided, the existing stormwater infrastructure exists and is available to access for service, future homes would connect to the City's stormwater system and connection fees, SDC's and ongoing user fees would be paid, thereby paying a fair share. Please also refer to the memorandum from the applicant's professional engineer discussing the adequacy of public facilities for further information.

Fire and Police Protection.

Availability

The subject property is currently within and served by Clackamas County Fire District No. 1. There will not be any additional demand if the annexation is approved. If the property were subdivided and new homes built in the future, the additional residence(s) will be served by Clackamas County Fire District No. 1 as well. The Fire District is funded by property taxes, levies and SDC's paid by property owners and new development. Future subdivision and construction of additional homes on the property will provide additional revenue for these fire protection services.

The subject property is currently served by Clackamas County's Sheriff's Office. Upon successful annexation to the City, the property will also be annexed into and served by the Oregon City Police Department.

The police department was forwarded this application for comment and did not comment that there is inadequate resources to serve the property. The Oregon City Police Department, similar to the fire department, is funded by property taxes.

Parks, Open Space and Recreation.

Availability

The closest park is Wesley Lynn Park, 500+/- feet to the northeast. The annexation application by itself will not impact the existing parks in the area. The City's Comprehensive Plan designated the subject property as Low Density Residential (LDR). Once annexed, it will be zoned R-10, a LDR designation. If a future subdivision and construction of homes on the property occurs, the development would increase the need for park facilities. The subdivision would also require SDC fees and property taxes be paid in order to offset these impacts - an accepted process for funding for a future park.

Capacity

Annexation of the subject property would not affect the capacity of park facilities.

Status

As noted above, the site is not adjacent to existing park facilities and the annexation application will not impact the existing parks in the area.

Schools

Availability

The property is already served by the Oregon City School District. The existing home on the subject property is currently served by the Oregon City School District, and this annexation would have no impact on the school district. The site is located within roughly one (1) mile of Gaffney Lane Elementary School to the east and John McLoughlin Elementary School to the northwest; less than two (2) miles from Gardiner Middle school to the northeast; and roughly two (2) miles from Oregon City High School and Clackamas Community College to the east. If the property is subdivided and new homes constructed, the new development will increase the service demands for the local schools. Oregon City School District has adopted a \$1.17/sq.ft. construction excise tax on residential development as permitted by state law. In addition, future property (home) owners would be responsible for additional property tax payments to fund the school district

Capacity

The applicant attended a Pre-Application Conference with City staff and was not informed of any existing issues regard current capacity of schools that serve the proposed annexation area.

Status

As noted above, the existing home on the subject property is currently served by the Oregon City School District, and this annexation will have no impact on the school district. The details surrounding existing and future capacity are unknown, but if the property is subdivided and future homes built, the construction excise tax and additional property tax revenues would contribute to increase in school capacity.

Transportation

Availability

Access to the property is currently provided by a private driveway from S. McCord Road. The property also has frontage on Leland Road.

Capacity

Successful annexation will not create any increase in service demands. No impact will occur unless the property proposed to be annexed was subdivided and new home(s) constructed in the future. The subject property was evaluated and included in the current City TSP for an R-10 designation and found to have no adverse impacts that require a traffic study for the property. The property will benefit from the R-10 zoning once the annexation is approved. The property was included in the Urban Growth Boundary in 1980, had a Comprehensive Plan Designation, and was

considered when the current TSP was adopted. The state TPR regulations in Section 9 provide that under OAR 660-012-0060 – Plan and Land Use Regulation Amendments;

(9) Notwithstanding section (1) of this rule, a local government may find that an amendment to a zoning map does not significantly affect an existing or planned transportation facility if all the following requirements are met.
(a) The proposed zoning is consistent with the existing comprehensive plan map designation and the amendment does not change the comprehensive plan map;
(b) The local government has an acknowledged TSP and the proposed zoning is consistent with the TSP; and
(c) The area subject to the zoning map amendment was not exempted from this rule at the time of an urban growth boundary amendment as permitted in OAR 660-024-0020(1)(d), or the area was exempted from this rule but the government has a subsequently acknowledged TSP amendment that accounted for urbanization of the area.

The City's Transportation Engineer, Replinger and Associates, has reviewed the applicant's TPR analysis and concurs with the applicants conclusions (Exhibit 3). Based on this analysis, pursuant to city code section **17.68.025 Zoning changes for land annexed into the city**, the property may be automatically rezoned to R-10 upon approval of the annexation by the voters.

Public Facilities and Services – Continued - Other Services.

Planning, building inspection, permits, and other municipal services will be available to the territory from the City upon annexation.

Finding: Based on the above analysis, the public facilities and services necessary to service potential development on the site are adequate and available.

4. COMPLIANCE WITH APPLICABLE SECTIONS OF ORS CH. 222, AND METRO CODE SECTION 3.09;

Compliance with ORS Ch. 222

Finding: The annexation petition has been reviewed consistent with ORS Ch. 222 that provides the statutory framework, notice requirements and procedures for city boundary changes, voter approval, and special district coordination. ORS 222 requires that annexed lands be contiguous to the City. The proposed property is contiguous to the city limits along a majority of its perimeter with the city boundary. There are no flag lots or long linear extensions involved in this proposed annexation demonstrating that the properties are contiguous to the city. If the annexation is approved the area will provide a contiguous block of new land, promoting the efficient delivery of public services. Compliance with Metro Code 3.09 is addressed below.

Metro Boundary Change Criteria – Chapter 3.09

The Legislature has directed Metro to establish criteria that must be used by all cities within the Metro Urban Growth Boundary. The Metro Code states that the City's annexation decision shall be based on substantial evidence in the record of the hearing and that the written decision must include findings of fact and conclusions from those findings.

Metro defines annexations as “Minor Boundary Changes” pursuant to Metro Code 3.09.020. Chapter 3.09 contains the standards for annexations that cities must follow. Metro Code 3.09 requires these findings and conclusions to address the following minimum criteria:

To approve a boundary change, the reviewing entity shall apply the criteria and consider the factors set forth in subsections (D) and (E) of section 3.09.045;

D. To approve a boundary change through an expedited process, the city shall:

1. Find that the change is consistent with expressly applicable provisions in:
 - a. Any applicable urban service agreement adopted pursuant to ORS 195.065;
 - b. Any applicable annexation plan adopted pursuant to ORS 195.205;

Finding: This criterion is met. These criteria require that annexations be consistent with applicable provisions of annexation plans or urban service agreements that have been adopted pursuant to ORS 195. ORS 195 requires agreements among providers of urban services. Urban services are defined as: sanitary sewers, water, fire protection, parks, open space, recreation and streets, roads and mass transit, and have been addressed in criterion (d)(1)(C) below. There are no adopted annexation plans applicable to this property.

c. Any applicable cooperative planning agreement adopted pursuant to ORS 195.020(2) between the affected entity and a necessary party;

Finding: This criterion is met. These criteria require that Oregon City coordinate annexations with affected jurisdictions, agencies and service providers and as set forth above, such coordination occurred.

- d. Any applicable public facility plan adopted pursuant to a statewide planning goal on public facilities and services;
- e. Any applicable comprehensive plan;
- f. Any applicable concept plan; and

Finding: These criteria are met. Future development of the subject site will be reviewed in accordance with several applicable public facility plans adopted by the city as ancillary documents to the Oregon City Comprehensive Plan, including the Transportation System Plan (2013), The Water Master Plan (2011), the Sanitary Sewer Master Plan (2003, currently being updated), and the Stormwater Master Plan (2003 currently being updated). There are no concept plans that apply to the proposed annexation territory since it was brought into the UGB prior to the concept planning requirement.

2. Consider whether the boundary change would:

- a. Promote the timely, orderly and economic provision of public facilities and services;
- b. Affect the quality and quantity of urban services; and
- c. Eliminate or avoid unnecessary duplication of facilities or services.

Finding: These criteria are met based on the analysis provided above under Section 3 “ADEQUACY AND AVAILABILITY OF PUBLIC FACILITIES AND SERVICES TO SERVICE POTENTIAL DEVELOPMENT”. The proposed annexation will promote the timely, orderly or economic provision of public facilities and services in the area. As demonstrated above in the Annexation Factors section 14.040.060 and consistency with the Oregon City Comprehensive Plan goals and policies, water, sanitary sewer, storm sewer police services, fire protection, parks and schools are public facilities and services are immediately available to serve the property.

As detailed in this report, the proposed boundary change will be served by adequate levels of city police, fire, water, sanitary sewer and transportation services or the applicant will be required to show that such services can be provided to serve future development .

The proposed boundary change was forwarded to all applicable service providers for review and comment with the intent to avoid unnecessary duplication of facilities and services for the annexed territories. Annexation to or withdrawal from the applicable fire, road, water, sewer and sanitary sewer provider district has been addressed in this report and recommendations.

e. A city may not annex territory that lies outside the UGB, except it may annex a lot or parcel that lies partially within and partially outside the UGB.

Finding: Not applicable. This proposal does not involve lands outside the UGB.

Metro Code 3.09 also contains a second set of 10 factors that are to be considered where: 1) no ORS 195 agreements have been adopted, and 2) a necessary party is contesting the boundary change. At this time, those 10 factors are not applicable to this annexation because no necessary party has contested the proposed annexation. This criterion is not applicable.

Clackamas County Comprehensive Plan Compliance

Metro Code 3.09 requires findings for annexation to show consistency with applicable County comprehensive plans (Applicable Oregon City Comprehensive Plan goals and policies are addressed in a separate section above).

The Clackamas County Comprehensive Plan implements the Oregon City Comprehensive Plan for lands within the Urban Growth Boundary. The plan designation for these properties on the County's Oregon City Area Land Use Plan (Map IV-5) identifies the Low-Density Residential designation as Future Urban with a 10-acre minimum lot size. The FU-10 zoning is a holding zone to prevent the creation of small parcels in areas within the UGB to preserve the capacity of land to fully develop once a full range of urban services is available.

The Clackamas County Comprehensive Plan identifies the property as a Future Urban Area, defined as follows:

Future urban areas are lands within urban growth boundaries but outside immediate urban areas. Future urban areas are planned to be provided with public facilities, but currently lack providers of those facilities. Future urban areas are substantially underdeveloped and will be retained in their current use to ensure future availability for urban needs. Future urban areas are planned for urban uses but zoned for large-lot, limited development. (Page 4-3).

Policy 1.0 of the *Urbanization* section of the Land Use Chapter of the Clackamas County Comprehensive Plan provides as follows:

1.0 Coordinate with Metro in designating urban areas within Metro's jurisdiction. Recognize the statutory role of Metro in maintenance of and amendments to the Portland Metropolitan Urban Growth Boundary.

The plan also provides that capital improvement plans for areas that convert Future Urbanizable lands to Immediate Urban lands should ensure the *“orderly, economic provision of public facilities and urban services”*.

As demonstrated in this report, public facilities and urban services can be orderly and economically provided to the subject site. Nothing in the County Plan speaks directly to criteria for annexation of property from the County to the City.

Future Urban Policies

The Clackamas County Comprehensive Plan Policy 7.0 provides the following applicable policies for Future Urban lands:

7.0 The following policies apply to Future Urban lands:

7.1 Control premature development (before services are available) by:

a. Applying a future urban zone with a 10 acre minimum lot size within the Portland Metropolitan UGB except those lands identified in Subsection 7.1.b.

b. Applying a future urban zone with a 20 acre minimum lot size or greater for areas planned for employment, industrial and commercial uses within the Portland Metropolitan UGB.

c. Applying within the urban growth boundaries of Canby, Estacada, Sandy or Molalla, a 5 acre lot size or larger in rural, agricultural or forest zones.

7.2 Prohibit subdivisions, as defined in the Zoning and Development Ordinance, until the land qualifies as Immediate Urban.

7.3 Review partition requests to ensure that the location of proposed easements and road dedications, structures, wells, and septic drainfields are consistent with the orderly future development of the property at urban densities.

Finding: Based on the above analysis, the proposed annexation is consistent with the Clackamas County Comprehensive Plan.

CITY, SPECIAL DISTRICT AND AGENCY COORDINATION

Clackamas County recognizes that many activities and problems spill across political boundaries, making coordination with special districts, cities, and state and federal agencies essential. Policies 3.0 and 4.0 of the County's Plan (Urbanization section) provide the following policies relevant to coordination between Oregon City and Clackamas County.

4.0 Establish Urban Growth Management Areas and Urban Growth Management Agreements to clarify planning responsibilities between the County and cities for areas of mutual interest.

5.0 Establish agreements with cities and service districts to clarify service and infrastructure responsibilities for areas of mutual interest.

Both Clackamas River Water District and Tri-City Sewer District have reviewed the proposed annexation and indicated no conflicts with the proposal. After annexation to a city, the subject property will be rezoned to the Oregon City R-10 Single Family Residential zone in accordance with OCMC 17.68.030.

Finding: The proposed annexation is consistent with the applicable provisions of the Clackamas County Comprehensive Plan. The City has a signed Urban Growth Management Agreement with the County which ensures consistency between City and County plans. Further details for the UGMA are addressed below. The City provided notice to the County of the proposed annexation and has not received any notice or comment from the County that indicates any conflicts.

5. NATURAL HAZARDS IDENTIFIED BY THE CITY, SUCH AS WETLANDS, FLOODPLAINS AND STEEP SLOPES;

Finding: Not applicable. The site is not on or near any natural hazards identified by the City (such as wetlands, floodplains, and geologic hazard areas). The site is not on, near, nor will it affect any designated open space, scenic, historic, or natural resource areas.

6. ANY SIGNIFICANT ADVERSE EFFECTS ON SPECIALLY DESIGNATED OPEN SPACE, SCENIC, HISTORIC OR NATURAL RESOURCE AREAS BY URBANIZATION OF THE SUBJECT PROPERTY AT TIME OF ANNEXATION;

Finding: Not applicable. The property is not within any specially designated open space, scenic, historic or natural resource areas.

7. LACK OF ANY SIGNIFICANT ADVERSE EFFECTS ON THE ECONOMIC, SOCIAL AND PHYSICAL ENVIRONMENT OF THE COMMUNITY BY THE OVERALL IMPACT OF THE ANNEXATION.

Finding: Annexation of the property will have virtually no affect on the economic, social, or physical environment of the community. The Commission interprets the “community” as including the City of Oregon and the lands within its urban service area. The City will obtain a small increase in property tax revenues from adding additional assessed value to its tax roll as a result of annexing the territory. The City will also obtain land use jurisdiction over the territory.

The City will have service responsibilities including police and general administration. The City delivers police service to the unincorporated area in the course of patrolling to deliver service to the incorporated area. The increases in service responsibilities to the area that result from the annexation are insignificant.

If approved by City electors for annexation, the property will be automatically rezoned to R-10 Single Family Residential. The property has not been subdivided or partitioned and the zoning must be changed before development at any density other than FU-10 can be approved. Any impacts on the community that result from approval of development permits are a direct consequence of a zone change, land division or development permit approval, not of the annexation. The applicant has indicated compliance with the State’s Transportation Planning Rule for the desired re-zoning to R-10, and the territory must also be annexed to the Tri-City Service District. The City Commission must concur with Tri-City Service District’s annexation of the subject property in the enacting ordinance upon voter approval of the city annexation.

Urban Growth Management Agreement (UGMA - 1992)

The City and the County have an Urban Growth Management Agreement (UGMA), which is a part of their respective comprehensive plans (Exhibit 6). The territory to be annexed falls within the Urban Growth Management Boundary (UGMB) identified for Oregon City and is subject to the agreement. Unless rezoning is deferred to a separate application as with this application, the default zoning is R-10 single-family dwelling district. The applicant does not propose development of the property at this time.

The UGMA presumes that all the urban lands within the UGB will ultimately annex to the City. It specifies that the City is responsible for the public facilities plan required by Oregon Administrative Rule Chapter 660, division 11. The Agreement goes on to say:

4. City and County Notice and Coordination

D. The CITY shall provide notification to the COUNTY, and an opportunity to participate, review and comment, at least 20 days prior to the first public hearing on all proposed annexations . . .

5. City Annexations

A. CITY may undertake annexations in the manner provided for by law within the UGMB. CITY annexation proposals shall include adjacent road right-of-way to properties proposed for annexation. COUNTY shall not oppose such annexations.

Finding: In accordance with the UGMA, the City provided the necessary notice of the proposed annexation to the County that did not indicate any conflicts. The City requires that the annexation include the adjacent road right-of-way of McCord Road and Leland Road. The applicant has provided a map, legal description and survey of the additional right-of-way to be annexed.

B. Upon annexation, CITY shall assume jurisdiction of COUNTY roads and local access roads that are within the area annexed. As a condition of jurisdiction transfer for roads not built to CITY street standards on the date of the final decision on the annexation, COUNTY agrees to pay to CITY a sum of money equal to the cost of a two inch asphaltic concrete overlay over the width of the then existing pavement; however, if the width of pavement is less than 20 feet, the sum shall be calculated for an overlay 20 feet wide. The cost of asphaltic concrete overlay to be used in the calculation shall be the average of the most current asphaltic concrete overlay projects performed by each of CITY and COUNTY. Arterial roads will be considered for transfer on a case by case basis. Terms of transfer for arterial roads will be negotiated and agreed to by both jurisdictions.

C. Public sewer and water shall be provided to lands within the UGMB in the manner provided in the public facility plan.

Finding: The proposed annexation is consistent with the UGMA. The required notice was provided to the County at least 20 days before the Planning Commission hearing. City water and sanitary sewer can be provided to serve the annexed area in an efficient and economic manner. Upon development approval of the subject site, public sewer and water will be provided through extensions of these public facilities.

Oregon City Municipal Code – Chapter 17 – Zoning upon Annexation

LAND USE

Section 2, of the City's Comprehensive Plan identifies land use types. Low Density Residential is identified as follows:

1. Low Density Residential [LR]: Areas in the LR category are primarily for single-family detached homes.

The City/County urban growth management agreement specifies that the County's acknowledged Comprehensive Plan and implementing regulations shall apply until annexation and the City adopts subsequent plan amendments. The Oregon City Code requires the City Planning Department to review the final zoning designation within sixty days of annexation, utilizing the chart below and some guidelines laid out in Section 17.06.050.

CITY LAND USE CLASSIFICATION

Residential Type	City Zone
Low-density residential	R-10, R-8, R6
Medium-density residential	R-3.5, R-5
High-density residential	R-2

That section goes on to say:

"In cases where only a single city zoning designation corresponds to the comprehensive plan designation . . . Section 17.68.025 shall control."

Section 17.68.025, Zoning changes for land annexed into the city, says:

"Notwithstanding any other section of this chapter, when property is annexed into the city from the city/county dual interest area with any of the following comprehensive plan designations, the property shall be zoned upon annexation to the corresponding city zoning designations as follows:"

Plan Designation	Zone
Low-density residential	R-10
Medium-density residential	R-5
High-density residential	R-2

Oregon City has three zones that may be applied to the County's Low Density Residential land use classification. The R-10 zone is ministerially applied upon annexation approval. Any denser zoning designation requires the submittal of a re-zoning application through the Type IV land use process. The R-10 zone requires a minimum lot size of 10,000 square feet and the minimum density is 4.4 units per acre. The surrounding properties to the north of the site have City zoning of R-6 and R-3.5 (Pavilion Park). Lands to south have county zoning of FU-10.

RECOMMENDATIONS

Oregon City Municipal Code section 14.04.080 states the following:

“The city commission shall endeavor to review all proposals prior to the city application deadline for submitting ballot measures to the voters. The city commission shall only set for an election annexations consistent with a positive balance of the factors set forth in Section 14.04.060 of this chapter. The city commission shall make findings in support of its decision to schedule an annexation for an election.”

The proposed annexation demonstrates a positive balance of the factors set forth in Section 14.04.060. Based on the study and the Proposed Findings and Reasons for Decision for this annexation, staff recommends that the City Commission:

- ⇒ Set AN 14-01 for election on the November 4, 2014 ballot.
- ⇒ Recommend withdrawing the territory from the County Service District for Enhanced Law Enforcement as allowed by statute.
- ⇒ Concur with Tri-City Service District’s annexation of the subject property in the enacting ordinance upon voter approval of the city annexation, recognizing that the applicant must petition that district separately for annexation.
- ⇒ Withdraw the property from the Clackamas River Water service district boundary.
- ⇒ Recommend the property remain within the Clackamas Fire District # 1.
- ⇒ Automatically rezone the property to R-10 Single Family Residential Zoning upon approval of the annexation by the Voters of Oregon City.

EXHIBITS

1. Applicant’s Annexation Application
2. Public Notices
3. Transportation Consultant Comments on TIA / TPR Analysis
4. CRW Comments
5. Metro Ord. 79-77
6. Clackamas County / Oregon City Urban Growth Management Agreement (UGMA)

AN 14-01

PROPOSED FINDINGS, REASONS FOR DECISION, AND RECOMMENDATIONS

Based on the Findings in this Report, the Commission determines:

1. The Metro Code calls for consistency of the annexation with the Regional Framework Plan or any functional plan. The Commission concludes the annexation is inconsistent with this criterion because there were no directly applicable criteria for boundary changes found in the Regional Framework Plan, the Urban Growth Management Function Plan, or the Regional Transportation Plan.
2. Metro Code 3.09.050(d)(1) requires the Commission's findings to address consistency with applicable provisions of urban service agreements or annexation plans adopted pursuant to ORS 195. The Commission finds that there are no inconsistencies between these plans/agreements and this annexation.
3. The Metro Code, at 3.09.050(d)(3), requires the City's decision to be consistent with any "directly applicable standards or criteria for boundary changes contained in comprehensive land use plans and public facilities plans." The Clackamas County Comprehensive Plan also states annexation which converts Future Urban lands to Immediate Urban lands should ensure the "orderly, economic provision of public facilities and services." The property owner has demonstrated that the City can provide all necessary urban services. Nothing in the County Plan speaks directly to criteria for annexation. Therefore the Commission finds this proposal is consistent with the applicable plan as required Metro Code 3.09.050 (d)(3).
4. The Commission concludes that the annexation is consistent with the Oregon City Comprehensive Plan that calls for a full range of urban services to be available to accommodate new development as noted in the Findings above. The City operates and provides a full range of urban services.
5. The Commission notes that the Metro Code also calls for consistency of the annexation with urban planning area agreements. As stated in the Findings, the Oregon City-Clackamas County Urban Growth Management Agreement (UGMA) specifically provides for annexations by the City.
6. Metro Code 3.09.050(d)(5) states that another criterion to be addressed is "Whether the proposed change will promote or not interfere with the timely, orderly, and economic provision of public facilities and services." Based on the evidence in the Findings, the Commission concludes that the annexation will not interfere with the timely, orderly, and economic provision of services.
7. The Oregon City Code contains provisions on annexation processing. Section 6 of the ordinance requires that the City Commission consider seven factors if they are relevant. These factors are covered in the Staff Report Findings and on balance the Commission believes they are adequately addressed to justify approval of this annexation.
8. The City Commission concurs with Tri-City Service District's annexation of the subject property in the enacting City ordinance upon voter approval of the city annexation. Prior to the City approving a final zoning designation for the

property, the applicant shall provide documentation that the property has been annexed into the Tri-City Service District.

9. The Commission determines that the property should be withdrawn from the Clackamas County Service District for Enhanced Law Enforcement as allowed by statute since the City will provide police services upon annexation.

11. The City Commission recognizes that the applicant has adequately addressed compliance with the Oregon Statewide Transportation Planning Rule OAR 660-012-0060.

12. The City Commission recognizes that the Urban Growth Management Agreement with Clackamas County requires that the annexation proposal shall include the adjacent road right-of-way of the property proposed for annexation.

13. The City Commission concurs with the Clackamas River Water District (CRW) recommendation that the property be served by the City and withdrawn from CRW's service area.

14. The City Commission recognizes that the Applicant shall provide all necessary mapping and legal property descriptions for approval by the Oregon Department of Revenue to ensure completion of the annexation.

15. The City Commission recognizes that the property shall be rezoned ministerially to R-10 Single Family Residential following approval of the annexation pursuant to OCMC 17.68.025(A).

ANNEXATION APPLICATION FOR 19588 S McCORD ROAD

DATE: April 2014

SUBMITTED TO: Oregon City
Planning Department
221 Molalla Avenue, Suite 200
Oregon City, OR 97045

APPLICANTS: Brian D'Ambrosio & Valerie Hunter
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ANNEXATION APPLICATION FOR 19588 S McCORD ROAD

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- City Land Use Application
- City Submittal Checklist
- Petition Certifications
- Legal Description and Map of Property to be Annexed
- Boundary Change Information Sheet
- Annexation Written Narrative/Reason for Boundary Change
- Public Facilities Memorandum
- Notice List
- County Assessor's Quarter- Section Map

INCLUDED SEPARATELY WITH APPLICATION:

- Full Quarter-Section County Assessor's Tax Maps (2 Copies)
- Mailing Address Labels (2 Sets)
- Annexation Plans (2 Full Size Copies – 22" x 34")
- Annexation Plans (2 Reduced Size Copy – 11" x 17")
- City Application Fee (1 check)



CITY LAND USE APPLICATION



LAND USE APPLICATION FORM

Type I (OCMC 17.50.030.A)

- ☐ Compatibility Review
- ☐ Lot Line Adjustment
- ☐ Non-Conforming Use Review
- ☐ Natural Resource (NROD) Verification

Type II (OCMC 17.50.030.B)

- ☐ Extension
- ☐ Detailed Development Review
- ☐ Geotechnical Hazards
- ☐ Minor Partition (<4 lots)
- ☐ Minor Site Plan & Design Review
- ☐ Non-Conforming Use Review
- ☐ Site Plan and Design Review
- ☐ Subdivision (4+ lots)
- ☐ Minor Variance
- ☐ Natural Resource (NROD) Review

Type III / IV (OCMC 17.50.030.C)

- ☒ Annexation
- ☐ Code Interpretation / Similar Use
- ☐ Concept Development Plan
- ☐ Conditional Use
- ☐ Comprehensive Plan Amendment (Text/Map)
- ☐ Detailed Development Plan
- ☐ Historic Review
- ☐ Municipal Code Amendment
- ☐ Variance
- ☐ Zone Change

File Number(s): _____

Proposed Land Use or Activity: Annexation request for a single parcel from Clackamas County to the City of Oregon City.

Project Name: McCord Road Annexation Number of Lots Proposed (If Applicable): N/A

Physical Address of Site: 19588 S McCord Road, Oregon City, OR 97045

Clackamas County Map and Tax Lot Number(s): T3S, R2E, Section 7B, TL 4100

Applicant(s):

Applicant(s) Signature: [Signature]

Applicant(s) Name Printed: Brian D'Ambrosio & Valerie Hunter Date: 3/30/2014

Mailing Address: 3336 SE Belmont Street, OR 97214

Phone: Contact Applicant's Const Fax: Contact Applicant's Con Email: Contact Applicant's Consultant

Property Owner(s):

Property Owner(s) Signature: [Signature] [Signature]

Property Owner(s) Name Printed: David G. and Diane M. Douglass Date: 3/30/14

Mailing Address: 19588 S McCord Road, Oregon City, OR 97045

Phone: Contact Applicant's Const Fax: Contact Applicant's Con Email: Contact Applicant's Consultant

Representative(s):

Representative(s) Signature: _____

Representative (s) Name Printed: Chris Goodell, AKS Engineering & Forestry Date: _____

Mailing Address: 13910 SW Galbreath Drive Suite 100, Sherwod, OR 97140

Phone: 503-925-8799 Fax: 503-925-8969 Email: chrisg@aks-eng.com

All signatures represented must have the full legal capacity and hereby authorize the filing of this application and certify that the information and exhibits herewith are correct and indicate the parties willingness to comply with all code requirements.



CITY SUBMITTAL CHECKLIST







CITY OF OREGON CITY

Community Development Department, 320 Warner-Milne Road
P.O. Box 3040, Oregon City, OR 97045 (503) 657-0891
www.ci.oregon-city.or.us

ANNEXATION APPLICATION SUBMITTAL CHECKLIST

Quoted from OCMC 14.04.050.

Contents of Application. An applicant seeking to annex land to the city shall file with the city the appropriate application form approved by the city manager. The application shall include the following:

1.  Written consent form to the annexation signed by the requisite number of affected property owners, electors or both, provided by ORS 222, if applicable;
2.  A legal description of the territory to be annexed, meeting the relevant requirements of the Metro Code and ORS Ch. 308. If such a description is not submitted, a boundary survey may be required. A lot and block description may be substituted for the metes and bounds description if the area is platted. If the legal description contains any deed or book and page references, legible copies of these shall be submitted with the legal description;
3.  A list of property owners within three hundred feet of the subject property and if applicable, those property owners that will be "islanded" by the annexation proposal, on mailing labels acceptable to the city manager (equal to 30 labels per 8.5-inch by 11-inch sheet);
4.  Two full quarter-section county tax assessor's maps, with the subject property(ies) outlined;
5.  Twenty-five copies of a site plan, drawn to scale (not greater than one inch = fifty feet), indicating:
 - a. The location of existing structures (if any),
 - b. The location of streets, sewer, water, electric and other utilities, on or adjacent to the property to be annexed,
 - c. The location and direction of all water features on and abutting the subject property. Approximate location of areas subject to inundation, stormwater overflow or standing water. Base flood data showing elevations of all property subject to inundation in the event of one hundred year flood shall be shown,
 - d. Natural features, such as rock outcroppings, marshes or wetlands (as delineated by the Division of State Lands) wooded areas, isolated preservable trees (trees with trunks over six inches in diameter--as measured four feet above ground), and significant areas of vegetation,
 - e. General land use plan indicating the types and intensities of the proposed, or potential development;
6. N/A If applicable, a double-majority worksheet, certification of ownership and voters. Certification of legal description and map, and boundary change data sheet on forms provided by the city.
7.  A narrative statement explaining the conditions surrounding the proposal and addressing the factors contained in the ordinance codified in this chapter, as relevant, including:
 - a. Statement of availability, capacity and status of existing water, sewer, drainage, transportation, park and school facilities,

CITY OF OREGON CITY

Community Development Department, 320 Warner-Milne Road
P.O. Box 3040, Oregon City, OR 97045 (503) 657-0891
www.ci.oregon-city.or.us

b. Statement of increased demand for such facilities to be generated by the proposed development, if any, at this time,


c. Statement of additional facilities, if any, required to meet the increased demand and any proposed phasing of such facilities in accordance with projected demand,

d. Statement outlining method and source of financing required to provide additional facilities, if any,

e. Statement of overall development concept and methods by which the physical and related social environment of the site, surrounding area and community will be enhanced,

f. Statement of potential physical, aesthetic, and related social effects of the proposed, or potential development on the community as a whole and on the small subcommunity or neighborhood of which it will become a part; and proposed actions to mitigate such negative effects, if any,

g. Statement indicating the type and nature of any comprehensive plan text or map amendments, or zoning text or map amendments that may be required to complete the proposed development;

8.  The application fee for annexations established by resolution of the city commission and any fees required by Metro. In addition to the application fees, the city manager shall require a deposit, which is adequate to cover any and all costs related to the election. (Ord. 99-1030 §5, 1999)

PETITION CERTIFICATIONS

CERTIFICATION OF PROPERTY OWNERSHIP OF

100% OF LAND AREA

(City 100% Ownership Method)

I hereby certify that the attached petition for a proposed boundary change involving the territory described in the petition contains the names of the owners* of 100% of the land area within the annexation area described in the petition, as shown on the last available complete assessment roll.

NAME DS Storm
TITLE GIS Cartographer 2
DEPARTMENT A&T
COUNTY OF Clackamas
DATE 4-8-14

- * "Owner" means the legal owner of record or, where there is a recorded land contract which is in force, the purchaser thereunder. If there is a multiple ownership in a parcel of land each consenting owner shall be counted as a fraction to the same extent as the interest of the owner in the land bears in relation to the interest of the other owners and the same fraction shall be applied to the parcel's land mass and assessed value for purposes of the consent petition. If a corporation owns land in territory proposed to be annexed, the corporation shall be considered the individual owner of that land.



CERTIFICATION OF LEGAL DESCRIPTION AND MAP

I hereby certify that the description of the property included within the attached petition (located on Assessor's Map 3ZE07B) has been checked by me and it is a true and exact description of the property under consideration, and the description corresponds to the attached map indicating the property under consideration.

NAME DT Storm
TITLE GIS Coordinator 2
DEPARTMENT A&T
COUNTY OF Clark
DATE 4-8-14



CERTIFICATION OF REGISTERED VOTERS

I hereby certify that the attached petition for annexation of territory described herein to the City of Oregon City contains the names of at least a majority of the electors registered in the territory to be annexed.

NAME FLOYD THOMAS

TITLE DEPUTY CLERK

DEPARTMENT ELECTIONS

COUNTY OF CLACKAMAS

DATE 4-8-14

Floyd Thomas

CLACKAMAS COUNTY ELECTIONS
SHERRY HALL, COUNTY CLERK
1710 RED SOILS CT, SUITE 100
OREGON CITY, OR 97045



ANNEXATION PETITION

NOTE: This petition may be signed by qualified persons even though they may not know their property description or precinct number.

[illegible]

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**ENGINEERING PLANNING
FORESTRY**

13910 S.W. Galbreath Dr., Suite 100
Sherwood, Oregon 97140
Phone: (503) 925-8799
Fax: (503) 925-8969
AKS Job #3523



**LANDSCAPE ARCHITECTURE
SURVEYING**

AKS Group of Companies:
SHERWOOD, OREGON
SALEM, OREGON
VANCOUVER, WASHINGTON
www.aks-eng.com

EXHIBIT A

A tract of land located in the Northwest One-Quarter of Section 7, Township 3 South, Range 2 East, Willamette Meridian, Clackamas County, Oregon and being more particularly described as follows:

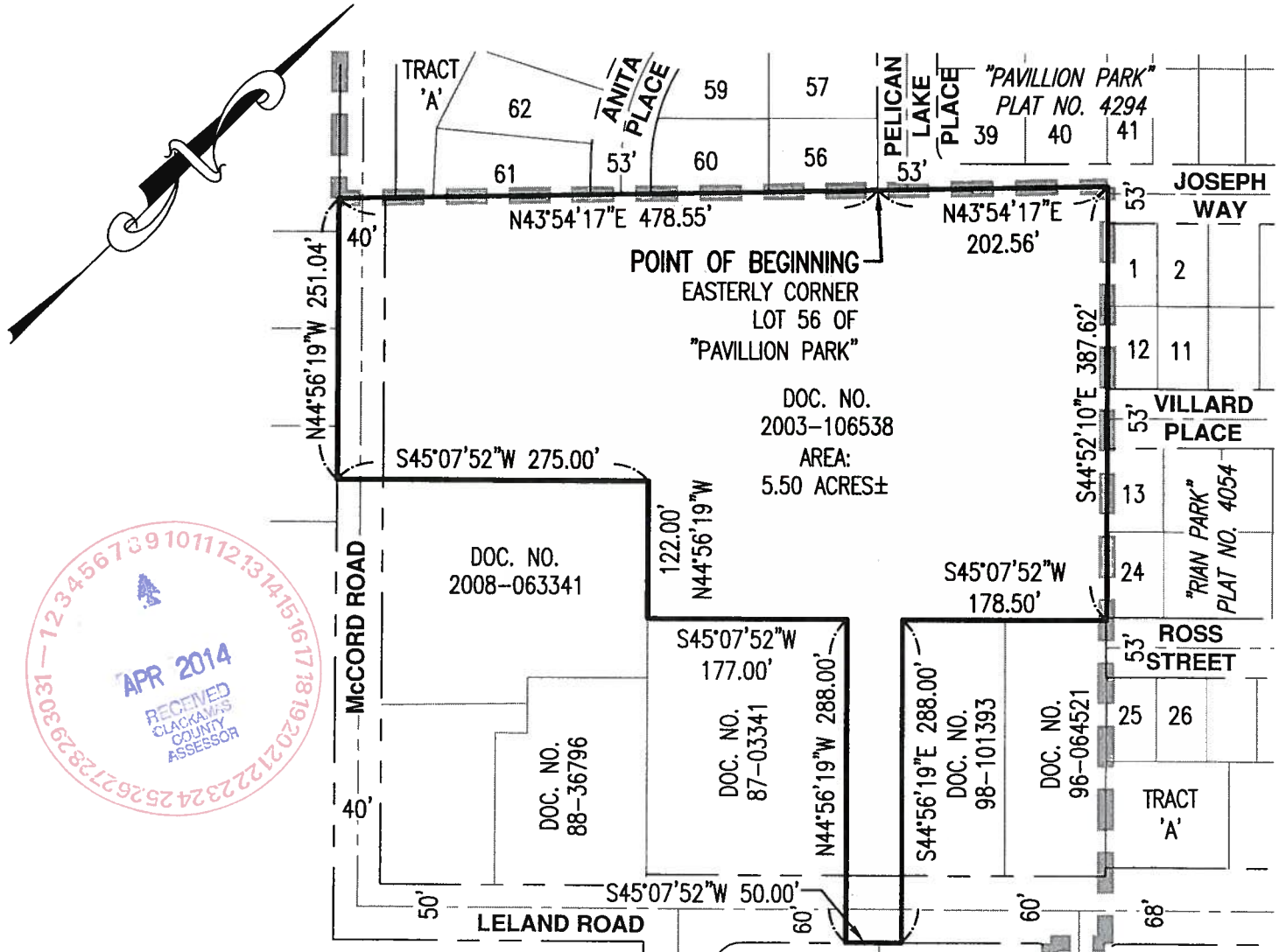
Beginning at the easterly corner of Lot 56 of the Plat of "Pavillion Park", thence along the southeasterly line of said Plat and the city limits of Oregon City, North 43°54'17" East 202.56 feet to the westerly corner of the Plat of "Rian Park"; thence along the southwesterly line of said Plat of "Rian Park" and being the city limits of Oregon City, South 44°52'10" East 387.62 feet to the northerly corner of that tract of land conveyed to Bond A. Fisher and Kellie I. Fisher in Document Number 96-064521, Clackamas County deed records; thence along the northwesterly line of the Fisher tract and the northwesterly line of that tract land conveyed to Dennis Mark Brown in Document Number 98-101393, Clackamas County deed records, South 45°07'52" West 178.50 feet to the westerly corner of the Brown tract; thence along the southwesterly line of the Brown tract and the southeasterly extension thereof, South 44°56'19" East 288.00 feet to a point on the southeasterly right-of-way line of Leland Road (30.00 feet from centerline); thence along said southeasterly right-of-way line, South 45°07'52" West 50.00 feet to a point on the southeasterly extension of the northeasterly line of that tract of land conveyed to Judy J. Douglass in Document Number 87-03341, Clackamas County deed records; thence along said southeasterly extension and the northeasterly line of the Douglass tract, North 44°56'19" West 288.00 feet to the northerly corner thereof; thence along the northwesterly line of the Douglass tract, South 45°07'52" West 177.00 feet to the westerly corner thereof, being a point on the northeasterly line of that tract of land conveyed to Bill Creel and Dana Creel in Document Number 2008-063341, Clackamas County deed records; thence along the northeasterly line of the Creel tract, North 44°56'19" West 122.00 feet to the northerly corner thereof; thence along the northwesterly line of the Creel tract and the southwesterly extension thereof, South 45°07'52" West 275.00 feet to a point on the southwesterly right-of-way line of McCord Road (20.00 feet from centerline); thence along said southwesterly right-of-way line, North 44°56'19" West 251.04 feet to a point on the southwesterly extension of the southeasterly line of the Plat of "Pavillion Park"; thence along said southwesterly extension of the southeasterly line of said Plat, being the city limits of Oregon City, North 43°54'17" East 478.55 feet to the Point of Beginning.

The above described tract of land contains 5.50 acres, more or less.



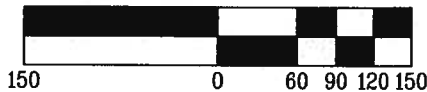
EXHIBIT B

A TRACT OF LAND LOCATED IN THE NW 1/4 OF SEC. 7,
TOWNSHIP 3 SOUTH, RANGE 2 EAST, W.M.,
CLACKAMAS COUNTY, OREGON



PREPARED FOR
H&H PREFERRED REAL ESTATE

SCALE 1" = 150 FEET



LEGEND

CITY OF OREGON CITY
CITY LIMITS

08-01-13
REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JANUARY 11, 2005
ROBERT D. RETTIG
60124LS

RENEW: 12/31/14

JOB NAME: McCORD ROAD

JOB NUMBER: 3523

DRAWN BY: MSK

CHECKED BY: RDR

DWG NO.: ANNEX-1

AKS ENGINEERING AND FORESTRY, LLC
13910 SW GALBREATH DR
SUITE 100
SHERWOOD, OR 97140
PHONE: 503.925.8799
FAX: 503.925.8969

AKS

ENGINEERING · PLANNING · SURVEYING
FORESTRY · LANDSCAPE ARCHITECTURE

LEGAL DESCRIPTION AND MAP OF PROPERTY TO BE ANNEXED

**ENGINEERING PLANNING
FORESTRY**

13910 S.W. Galbreath Dr., Suite 100
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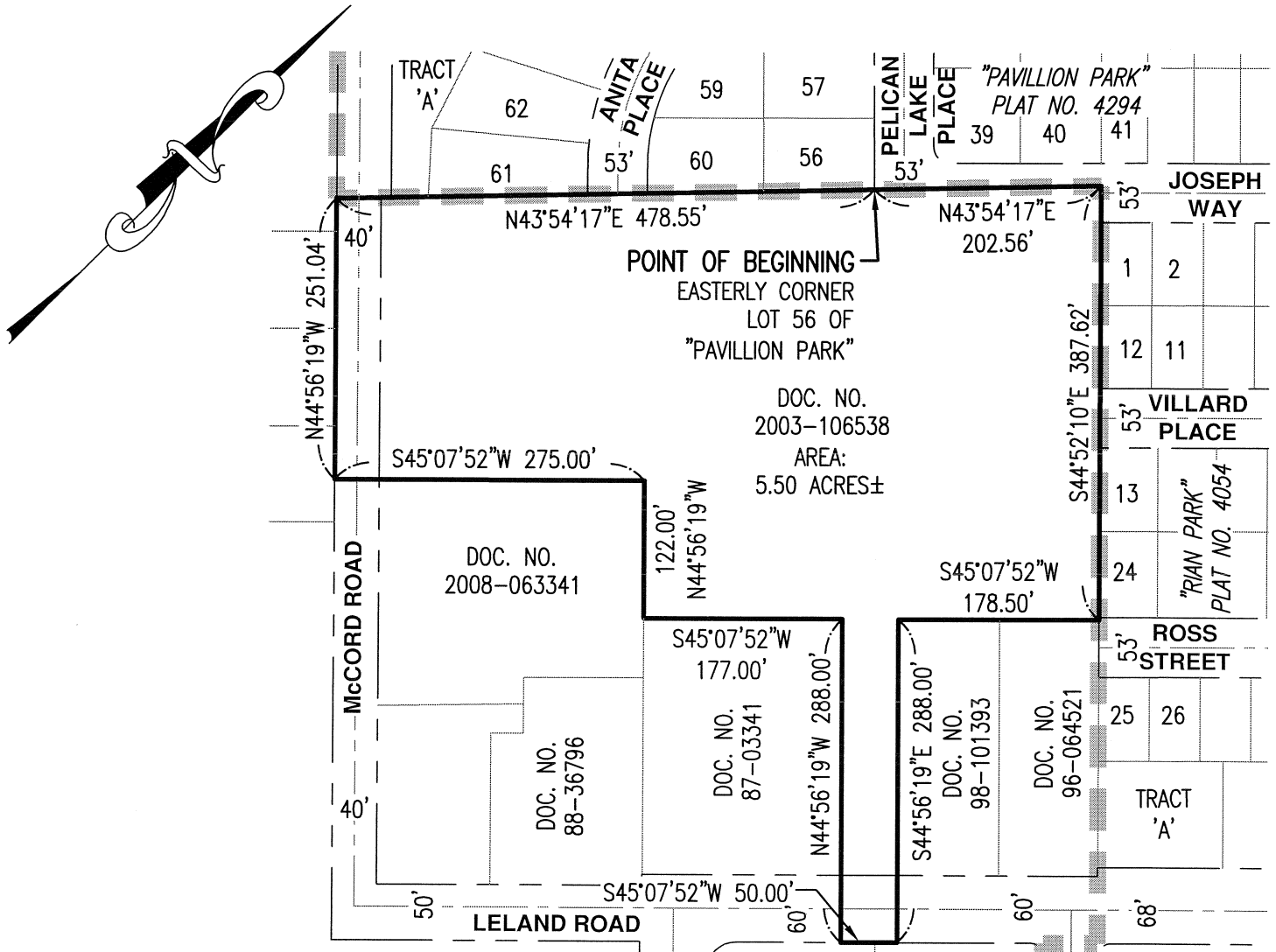
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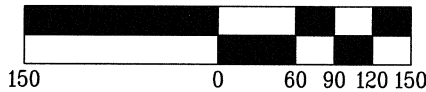
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CLACKAMAS COUNTY, OREGON



PREPARED FOR
H&H PREFERRED REAL ESTATE

SCALE 1" = 150 FEET



LEGEND

CITY OF OREGON CITY
CITY LIMITS

08-01-13
REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JANUARY 11, 2005
ROBERT D. RETTIG
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JOB NAME: McCORD ROAD

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DWG NO.: ANNEX-1

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SUITE 100
SHERWOOD, OR 97140
PHONE: 503.925.8799
FAX: 503.925.8969

AKS

ENGINEERING · PLANNING · SURVEYING
FORESTRY · LANDSCAPE ARCHITECTURE



BOUNDARY CHANGE INFORMATION SHEET

BOUNDARY CHANGE INFORMATION SHEET

I. EXISTING CONDITIONS IN AREA TO BE ANNEXED

A. General location 19588 S McCord Road

B. Land Area: Acres +/- 5.50 or Square Miles

C. General description of territory. (Include topographic features such as slopes, vegetation, drainage basins, floodplain areas, which are pertinent to this proposal).
Generally flat property with existing single-family residence.

D. Describe land uses on surrounding parcels. Use tax lots as reference points.

North: Single-family residential development.

East: Single-family residential development.

South: Single-family residential development.

West: Single-family residential development.

E. Existing Land Use:

Number of single-family units 1 Number of multi-family units 0

Number commercial structures 0 Number industrial structures 0

Public facilities or other uses N/A

What is the current use of the land proposed to be annexed: Single-family residential.

F. Total current year Assessed Valuation \$ 379,860

G. Total existing population 2

✓ II. REASON FOR BOUNDARY CHANGE **(See Attached Written Narrative)**

- ✓ A. The City Code (Section 6) and the Metro Code (3.09.050 (d) & (e)) spell out criteria for consideration (see copies attached). Please provide a narrative which addresses these criteria. With regard to the City criteria, please provide a narrative statement explaining the conditions surrounding the proposal and addressing the factors in Section 6, as relevant, including:

- ✓ 1. Statement of availability, capacity and status of existing water, sewer, drainage, transportation, park and school facilities;
- ✓ 2. Statement of increased demand for such facilities to be generated by the proposed development, if any, at this time;
- ✓ 3. Statement of additional facilities, if any, required to meet the increased demand and any proposed phasing of such facilities in accordance with projected demand;
- ✓ 4. Statement outlining method and source of financing required to provide additional facilities, if any;
- ✓ 5. Statement of overall development concept and methods by which physical and related social environment of the site, surrounding area and community will be enhanced;
- ✓ 6. Statement of potential physical, aesthetic and related social effects of the proposed or potential development on the community as a whole and on the small subcommunity or neighborhood of which it will become a part; and proposed actions to mitigate such negative effects, if any;
- ✓ 7. Statement indicating the type and nature of any Comprehensive Plan text or map amendments or Zoning text or map amendments that may be required to complete the proposed development.

- ✓ B. Please submit 25 copies of a site plan, drawn to scale (not greater than 1" = 50') indicating:

- ✓ 1. The location of existing structures (if any);
- ✓ 2. The location of streets, sewer, water, electric and other utilities, on or adjacent to the property to be annexed.
- N/A 3. The location and direction of all water features on and abutting the subject property. Approximate location of areas subject to inundation, stormwater overflow or standing water. Base flooding data showing elevations of all property subject to inundation in the event of one-hundred year flood shall be shown;
- N/A 4. Natural features, such as rock outcroppings, marshes or wetlands (as delineated by the Division of State Lands) wooded areas, isolated preservable trees (trees with trunks over 6" in diameter- -as measured 4 feet above the ground) and significant areas of vegetation.
- ✓ 5. General land use plan indicating the types and intensities of the proposed or potential development;

III. LAND USE AND PLANNING

- A. What is the applicable County Planning Designation? LR- Low Density Residential
What City Planning Designation is being sought? LR- Low Density Residential
- B. What is the zoning on the territory to be served?
FU-10
What zoning designation is being sought? R-10 (Default Zone)
- C. Is the subject territory to be developed at this time? No (A future application would need to be submitted)
- D. Generally describe the anticipated development (building types, facilities, number of units).
Although development is not included in this annexation application, single-family homes are consistent with the LR & R-10 destinations.

- E. Can the proposed development be accomplished under current county zoning?
☐ Yes ☒ No (Development not proposed with this application)

If No,---has a zone change been sought from the county either formally or informally.

☐ Yes ☒ No

Please describe outcome of zone change request if answer to previous questions was Yes. _____

- F. Is the proposed development compatible with the city's comprehensive land use plan for the area? (Development not proposed with this application)

☒ Yes ☐ No ☐ City has no Plan for the area.

Has the proposed development been discussed either formally or informally with any of the following? (Please indicate) (Development not proposed with this application)

☐ City Planning Commission ☒ City Planning Staff
☐ City Council ☐ City Manager
☒ Neighborhood Association

Please describe the reaction to the proposed development from the persons or agencies indicated above.

Positive and supportive.

- G. Please indicate all permits and/or approvals from a City, County, or Regional Government which will be needed for the proposed development. If already granted, please indicate date of approval and identifying number:

APPROVAL	PROJECT FILE #	DATE OF APPROVAL	FUTURE REQUIREMENT
Metro UGB Amendment			
City or County Plan Amendment			
Pre-Application Hearing (City or County)	PA-13-10	4/2/2013	
Preliminary Subdivision Approval			✓
Final Plat Approval			✓
Land Partition			
Conditional Use			
Variance			
Sub-Surface Sewage Disposal			
Building Permit			

Please submit copies of proceedings relating to any of the above permits or approvals which are pertinent to the annexation.

- H. Does the proposed development comply with applicable regional, county or city comprehensive plans? Please describe.

Future residential development. Annexation to R-10 zones is consistent with the applicable County and City Comprehensive plans. Both recommend low density residential use of the property.

- I. If a city and/or county-sanctioned citizens' group exists in the area of the annexation, please list its name and address of a contact person.
Tower-Vista Neighborhood Association - Todd Last - Todd.Last@comcast.net

IV. SERVICES AND UTILITIES

- A. Please indicate the following:

- Location and size of nearest water line which can serve the subject area.
The subject property is currently served by two 8-inch water mains stubbed to the northwest property line from the Pavilion Park Subdivision and two 8-inch water mains stubbed to the northeast property line from the Rian Park Subdivision.
- Location and size of nearest sewer line which can serve the subject area.
There is an existing 8 inch sewer line which stubs the northwestern and northeastern property lines.

-
3. Proximity of other facilities (storm drains, fire engine companies, etc.) which can serve the subject area Existing stormwater management facilities are adjacent to the property in Anita Place (northwestern property line). Connection to these services would be possible with future development of the property. The property is currently served by Clackamas County Fire Department No. 1 and Clackamas County Sheriff's office. Future development of this property would continue to use these same services, except that the property will receive service from the City Police Department.
4. The time at which services can be reasonably provided by the city or district. The adjacent services will be able to be extended once development is proposed for the property. Existing services will continue to serve the property until that time.
5. The estimated cost of extending such facilities and/or services and what is to be the method of financing. (Attach any supporting documents.) The estimated cost of extending these services will be determined once a application is proposed for this property.
-

6. Availability of the desired service from any other unit of local government. (Please indicate the government.)

N/A

- B. If the territory described in the proposal is presently included within the boundaries of or being served extraterritorially or contractually by, any of the following types of governmental units, please so indicate by stating the name or names of the governmental units involved.

City N/A

Rural Fire Dist Clackamas Fire Dept. No. 1

County Service Dist. Clackamas County Sheriff's Office

Sanitary District N/A

Hwy. Lighting Dist. N/A

Water District Clackamas River Water

Grade School Dist. John McLoughlin Elementary

Drainage District N/A

High School Dist. Oregon City High

Diking District N/A

Library Dist. N/A

Park & Rec. Dist. N/A

Special Road Dist. N/A

Other Dist. Supplying Water Service

- C. If the territory is proposed to be served by any of the above units or any other units of government please note.

- D. If any of the above units are presently servicing the territory (for instance, are

residents in the territory hooked up to a public sewer or water system), please so describe.

The subject property currently benefits from water service from Clackamas River Water.

APPLICANT'S NAME Brian D'Ambrosio and Valerie Hunter

MAILING ADDRESS 3336 SE Belmont Street
Portland, OR 97214

TELEPHONE NUMBER Applicant's Consultant: (503) 925-8799 (Work)
(Res.)

REPRESENTING Applicants Consultant: AKS Engineering & Forestry (Monty Hurley)

DATE: 04/11/2014

ANNEXATION WRITTEN NARRATIVE/ REASON FOR BOUNDARY CHANGE

ANNEXATION APPLICATION FOR 19588 S McCORD ROAD

DATE: April 2014

SUBMITTED TO: City of Oregon City
Planning Department
221 Molalla Avenue, Suite 200
Oregon City, OR 97045

OWNER: David G. and Diane M. Douglass
19588 S McCord Road
Oregon City, OR 97045

APPLICANT: Brian D'Ambrosio & Valerie Hunter
3336 SE Belmont Street
Portland, OR 97214

**APPLICANT'S
CONSULTANT:** AKS Engineering & Forestry, LLC
13910 SW Galbreath Drive, Suite 100
Sherwood, OR 97140
Contact(s): Monty Hurley (monty@aks-eng.com)
Chris Goodell (chrisg@aks-eng.com)
Phone: (503) 925-8799 Fax: (503) 925-8969

SITE ADDRESS: 19588 S McCord Road
Oregon City, OR 97045

ASSESSOR'S INFO: Tax Map 3S 2E 7B Tax Lot 4100

SITE SIZE: +/- 5.50 acres



I. BACKGROUND AND OVERVIEW

The applicant is seeking to annex one (1) property into the City of Oregon City, to allow for the potential to create a new single family subdivision in the future. The property is currently located within unincorporated Clackamas County, inside the Portland metropolitan area Urban Growth Boundary (UGB), and within the Urban Growth Management Agreement (UGMA) Area of Oregon City and Clackamas County. The area of the annexation is located northwest of Leland Road and northeast of McCord Road. The area is comprised of one (1) tax lot for a total area of roughly +/-5.50 acres.

The site is bordered by subdivisions and the City of Oregon City limits on the northwest and northeast and is bordered by large lot single family residences to the southeast side. The property has access to McCord Road along the southwest side of the property. There are currently two residents who reside on the proposed annexation site. The 2014 assessed valuation for the property is \$379,860.

The site is not on or near any natural hazards identified by the City (such as wetlands, floodplains, and steep slopes). The site is not on, near, nor will it affect designated open space, scenic, historic, or natural resource areas.

The parcel currently exhibits Clackamas County Zoning Designation of Future Urbanizable (FU-10) and is located adjacent to the City limits. Under the Clackamas County / Oregon City UGMA, the lot exhibits an Oregon City Comprehensive Plan Designation of Low Density Residential (LR). If successfully annexed, the LR-designated lot will be zoned R-10 Single Family Dwelling District, unless a different zoning is requested and approved by the City.

The property is currently served by Clackamas River Water for water service. The property is not currently served for sanitary sewer or storm water management facilities, although the site would be annexed to Tri-City Service District upon approval of annexation to the City. Sanitary Sewer is located in Anita Place and Pelican Lake Place (from the Pavilion Park subdivision), both of which border the property along the northwest property line, as well as Leland Road approximately 200 feet northeasterly from the subject sites' southeasterly property corner. A stormwater main is also located in Anita Place along with a stormwater facility being located close to the northwesterly property corner. If the subject property is annexed and then developed in the future, connections to sanitary and stormwater services can be made available to serve the subject site.

A meeting with the Tower-Vista Neighborhood Association was held on June 18th, 2013 with regards to this application.

II. AVAILABILITY, CAPACITY AND STATUS OF EXISTING WATER, SEWER, DRAINAGE, TRANSPORTATION, PARK AND SCHOOL FACILITIES

Oregon City Municipal Code Subsection 14.04.050(E) (7): Annexation Procedures

The annexation, if approved, would not create an increase in service demands. An increase in service demand would only occur if in the future, if/when an application for a subdivision is submitted and additional home(s) built. Such an application would be subject to review and compliance with City zoning and subdivision codes and standards at that time.

The City has anticipated development throughout the areas of the Portland metropolitan UGB that lie within the Oregon City UGMA area, including the subject annexation area. Basic services are available and adequate to support initial annexation and the impact of a possible future subdivision of the site.

The subject property is currently within and served by Clackamas Fire District No. 1 and Clackamas County Sheriff's Office. There will not be any additional demand of either service if the annexation is approved, although police services would change from Clackamas County Sheriff's Office to the Oregon City Police Department. If the property were to be subdivided in the future, additional residence(s) would also be served by Clackamas Fire District No. 1.

If the property were to be subdivided and any additional homes built in the future, the City has established System Development Charges (SDC's) to ensure that a proportionate share for any impacts are offset.

WATER FACILITIES

Availability

The subject property is currently within and served by the Clackamas River Water (CRW) District service area. There are two (2) 8-inch City water mains along the northwest property line from the Pavilion Park Subdivision, and there are two (2) 8-inch OD City water mains along the northeast property line from the Rian Park Subdivision. If the property was to be divided and an additional home(s) built, new water connections would be established with these existing water mains.

If the property was to be subdivided and additional home(s) built, they would connect to the existing water system and the appropriate connection fees, and/or SDC's and on-going user fees would be paid, thereby paying their fair share.

Capacity

The existing 8-inch water mains have adequate capacity to serve additional homes if the subject property were to be subdivided sometime in the future.

Status

The subject property is currently within and served by the Clackamas River Water (CRW) District service area. If the property were to be subdivided in the future, the additional home(s) would obtain water service from Oregon City. Please also refer to the memorandum from a professional engineer discussing the adequacy of public facilities for further information

SANITARY SEWER FACILITIES

Availability

At this time the subject property is not connected to a sanitary sewer system, nor is it within the service area of a sewer district. The existing residence is served by private septic system. Tri-City Service District provides wastewater treatment for Oregon City. Per the Pre-Application Conference notes, the applicant will file the appropriate documents for annexation into the Tri-City Service District following successful annexation to the City, but no sewer connection is anticipated at this time.

The City operates the sanitary sewer collection system, which connects to the Tri-City Service District interceptor. Sanitary sewer is available to the subject property if it were to be divided in the future. The

nearest City sanitary sewer mains to the property are 8-inch lines in Anita Place, Pelican Lake Place, Joseph Way, and Villard Place. If the subject property were to be subdivided in the future these facilities are available for connections.

If the subject property is subdivided and additional homes built in the future, the existing home and additional home(s) would connect to the City's sewer system and would pay connection fees, SDC's and on-going user fees, thereby paying their fair share.

Capacity

The Tri-City Service District has adequate capacity to serve the subject property if it were to be subdivided and additional homes in the future.

Status

As noted above, the applicant will file the appropriate documents for annexation into the Tri-City Service District, following successful annexation to the City. If the subject property were to be subdivided in the future, the sanitary mains in Anita Place, Pelican Lake Place, Joseph Way, and Villard Place are available as connection points for public sewer service.

STORM DRAINAGE

Availability

Currently there is no formal stormwater management facility for the subject parcel. Stormwater collection and connection would not be required with the subject property's annexation, but would most likely be required if the property were to be subdivided in the future. Existing 12-inch storm lines in Anita Place, Pelican Lake Place, Joseph Way, or Villard Place are available for connection.

If the property was to be subdivided in the future, the properties would be connected to the City's stormwater system and would pay connection fees, SDC's and ongoing user fees, thereby paying their fair share.

Capacity

If the property were to be subdivided in the future, a stormwater report would be prepared demonstrating that the existing system has the capacity to serve the property.

Status

As noted above, if the property were to be subdivided, the existing stormwater infrastructure exists and is available to access for service future homes would connect to the City's stormwater system and connection fees, SDC's and ongoing user fees would be paid, thereby paying their fair share. Please also refer to the memorandum from a professional engineer discussing the adequacy of public facilities for further information.

TRANSPORTATION FACILITIES

Availability

Access to the property is currently provided by way of a private driveway from S McCord Road. The property also has frontage on Leland Road.

Capacity

Successful annexation would not create any increase in service demands. No impact would occur unless the property proposed to be annexed was subdivided and new home(s) constructed in the future.

The subject property was evaluated and included in the current City TSP for an R-10 designation and found to have no adverse impacts that would require a traffic study for the property. The property will benefit from this same zoning once the annexation is approved.

The property was included in the Urban Growth Boundary in 1980, had a Comprehensive Plan Designation, and was considered when the current TSP was adopted. The state TPR regulations in Section 9 provide that under OAR 660-012-0060 – *Plan and Land Use Regulation Amendments*;

(9) Notwithstanding section (1) of this rule, a local government may find that an amendment to a zoning map does not significantly affect an existing or planned transportation facility if all the following requirements are met.

(a) The proposed zoning is consistent with the existing comprehensive plan map designation and the amendment does not change the comprehensive plan map;

(b) The local government has an acknowledged TSP and the proposed zoning is consistent with the TSP; and

(c) The area subject to the zoning map amendment was not exempted from this rule at the time of an urban growth boundary amendment as permitted in OAR 660-024-0020(1)(d), or the area was exempted from this rule but the government has a subsequently acknowledged TSP amendment that accounted for urbanization of the area.

PARK FACILITIES

Availability

The closest park is Wesley Lynn Park, 500+/- feet to the northeast. The annexation application by itself will not impact the existing parks in the area. The City's Comprehensive Plan designated the subject property as Low Density Residential (LDR). Once annexed, it will be zoned R-10, a LDR designation. If a future subdivision and construction of homes on the property were to occur in the future, it would increase the need for park facilities. It would also require SDC fees and property taxes be paid in order to offset these impacts. This is the accepted process for funding for a future park.

Capacity

Annexation of the subject property would not affect the capacity of park facilities.

Status

As noted above, the site is not adjacent to existing park facilities and the annexation application will not impact the existing parks in the area.

SCHOOL FACILITIES

Availability

The existing home on the subject property is currently served by the Oregon City School District, and annexation along would have no impact on the school district. The site is located within roughly one (1) mile of Gaffney Lane Elementary School to the east and John McLoughlin Elementary School to the northwest; less than two (2) miles from Gardiner Middle school to the northeast; and roughly two (2) miles from Oregon City High School and Clackamas Community College to the east. If the property was to be subdivided

and new homes constructed, it will increase the service demands for the local schools. Oregon City School District has adopted a \$1.00/sq.ft. construction excise tax on residential development as permitted by state law. In addition, future property (home) owners would be responsible for additional property tax payments.

Capacity

The applicant attended a Pre-Application Conference with City staff and was not informed of any existing issues regard current capacity of schools that serve the proposed annexation area.

Status

As noted above, the existing home on the subject property is currently served by the Oregon City School District, and annexation alone would have no impact on the school district. The details surrounding existing and future capacity are unknown, but if the property were to be subdivided and future homes built, the construction excise tax and additional property tax revenues would contribute to increase in school capacity.

III. INCREASED DEMAND GENERATED BY PROPOSED DEVELOPMENT FOR WATER, SEWER, DRAINAGE, TRANSPORTATION, PARK AND SCHOOL FACILITIES

Oregon City Municipal Code Subsection 14.04.050(E) (7): Annexation Procedures

Water Facilities

As noted above, the subject property is currently within and served by the Clackamas River Water (CRW) District service area. There will not be any additional demand if the annexation is approved. If the property were to be subdivided and future homes built, the existing public water system is available and has the capacity to serve this property. Please also refer to the memorandum from a professional engineer discussing the adequacy of public facilities for further information.

Sewer Facilities

As noted above, the subject property is not connected to a public sanitary sewer system as it is served by an on-site private septic system. There will not be any additional demand if the annexation is approved. Upon successful annexation to the City, the applicant will file the appropriate documents for annexation into the Tri-City Service District, but no sewer connection will be made. If the subject property were to be subdivided in the future, the existing sanitary mains are available for connection.

Drainage Facilities

As noted above, the subject property is not connected to the public stormwater system. There will not be any additional demand if the annexation is approved. Stormwater connection would be required if the property were to be subdivided and additional homes built in the future. The existing public storm drainage system is available for connection. Please also refer to the memorandum from a professional engineer discussing the adequacy of public facilities for further information.

Transportation Facilities

As previously noted, the property is currently accessed by way of an existing private driveway approach from S. McCord Road. There will not be any additional demand if the annexation is approved. As discussed above, the subject property was included in the Comprehensive Plan with a future LDR designation and studied by the adopted TSP for the R-10 zoning district. The TSP confirms that potential traffic impacts for

this property with this designation have been considered. If/When a future application for a subdivision is submitted to the City, a traffic study will be provided to address any traffic related impacts and potential mitigation, if necessary.

Park Facilities

The property is not adjacent to existing parks. The closest park is Wesley Lynn Park, 500 feet to the northeast. The annexation application by itself will not impact the existing parks in the area. The City's Comprehensive Plan designated the subject property as Low Density Residential (LDR). Once annexed, it will be zoned R-10, a LDR designation. If a future subdivision and construction of homes were to occur on the property it would increase the need for park facilities. It would also require SDC fees and property taxes be paid in order to offset these impacts. If a future subdivision and construction of homes were to occur on the property it would provide additional funding for future park facilities that would be collected and used by the City for this purpose.

School Facilities

The existing home on the subject property is currently served by the Oregon City School District, and annexation alone would have no impact on the school district. If the property were to be subdivided and additional homes built, the construction excise tax and additional property tax revenue will contribute funds to offset any possible increase in school capacity impacts.

IV. ADDITIONAL FACILITIES REQUIRED TO MEET INCREASED DEMAND AND PROPOSED PHASING OF SUCH FACILITIES

Oregon City Municipal Code Subsection 14.04.050(E) (7): Annexation Procedures

Water Facilities

As noted above, the subject property is currently within and served by the Clackamas River Water (CRW) District service area. There will not be any additional demand if the annexation is approved. If the property were to be subdivided and future homes built, the existing public water system is available and has the capacity to serve this property. Please also refer to the memorandum from a professional engineer discussing the adequacy of public facilities for further information.

Sewer Facilities

As noted above, the subject property is not connected to a public sanitary sewer system as it is served by an on-site private septic system. There will not be any additional demand if the annexation is approved. Upon successful annexation to the City, the applicant will file the appropriate documents for annexation into the Tri-City Service District, but no sewer connection will be made. If the subject property were to be subdivided in the future, the existing sanitary mains are available for connection.

Drainage Facilities

As noted above, the subject property is not connected to the public stormwater system. There will not be any additional demand if the annexation is approved. Stormwater connection would be required if the property were to be subdivided and additional homes built in the future. The existing public storm drainage system is available for connection. Please also refer to the memorandum from a professional engineer discussing the adequacy of public facilities for further information.

Transportation Facilities

As previously noted, the property is currently accessed by way of an existing private driveway approach from S. McCord Road. There will not be any additional demand if the annexation is approved. As discussed above, the subject property was included in the Comprehensive Plan with a future LDR designation and studied by the adopted TSP for the R-10 zoning district. The TSP confirms that potential traffic impacts for this property with this designation have been considered. If/When a future application for a subdivision is submitted to the City, a traffic study will be provided to address any traffic related impacts and potential mitigation, if necessary.

Park Facilities

The property is not adjacent to existing parks. The closest park is Wesley Lynn Park, 500 feet to the northeast. The annexation application by itself will not impact the existing parks in the area. The City's Comprehensive Plan designated the subject property as Low Density Residential (LDR). Once annexed, it will be zoned R-10, a LDR designation. If a future subdivision and construction of homes were to occur on the property it would increase the need for park facilities. It would also require SDC fees and property taxes be paid in order to offset these impacts. If a future subdivision and construction of homes were to occur on the property it would provide additional funding for future park facilities that would be collected and used by the City for this purpose.

School Facilities

The existing home on the subject property is currently served by the Oregon City School District, and annexation alone would have no impact on the school district. If the property were to be subdivided and additional homes built, the construction excise tax and additional property tax revenue will contribute funds to offset any possible increase in school capacity impacts.

Additional Facilities

The subject property is currently within and served by Clackamas County Fire District No. 1. There will not be any additional demand if the annexation is approved. If the property were to be subdivided and new homes built in the future, the additional residence(s) would be served by Clackamas County Fire District No. 1 as well. The Fire District is funded by property taxes, levies and SDC's during the construction and continued use of the property. Future subdivision and construction of additional homes on the property will provide additional revenue for these fire protection services.

The subject property is currently served by Clackamas County's Sheriff's Office. Upon successful annexation to the City, the property will also be annexed into and served by the Oregon City Police Department. If the property were to be subdivided and new homes built, a one-time fee of \$3,500 per new dwelling unit would be paid at the time a new building permit is applied for on the annexed property.

Phasing of Facilities

No phasing of additional facilities is necessary or proposed.

V. METHOD AND SOURCE OF FINANCING FOR ADDITIONAL FACILITIES

Oregon City Municipal Code Subsection 14.04.050(E) (7): Annexation Procedures

As noted above, if the property were to be subdivided and additional homes built in the future, a fee of \$3,500 per new dwelling unit for police services would be applied when a new building permit was pulled

within the annexed property. No other additional facilities – besides water, sanitary sewer, stormwater, transportation, parks and schools that have already been addressed – are necessary to meet increased demand if the property were to be subdivided and additional homes built in the future. Thus, no methods and sources for financing additional facilities are necessary.

VI. DEVELOPMENT CONCEPT AND METHODS OF ENHANCEMENT OF PHYSICAL AND SOCIAL ENVIRONMENT OF SITE, SURROUNDING AREA AND COMMUNITY

Oregon City Municipal Code Subsection 14.04.050(E) (7): Annexation Procedures

Development Concept and Method of Physical and Social Enhancement of Environment of Site, Surrounding Area and Community

Upon successful annexation to the City, there will not be an impact on the development concept, physical and social enhancement of environment of the site or surrounding area and community. Furthermore, future subdivision or construction of residences on the property (should there be any) would be subject to review and approval by the City during the applicable permitting process. All potential future development of the property is subject to the applicable portions of the Oregon City Municipal Code and all other relevant standards.

VII. EFFECTS OF AND MITIGATION FOR POTENTIAL PHYSICAL, AESTHETIC AND RELATED SOCIAL EFFECTS OF PROPOSED DEVELOPMENT

Oregon City Municipal Code Subsection 14.04.050(E) (7): Annexation Procedures

Effects of Proposed Development and Mitigation for Community, Sub-Community and Neighborhood

Upon successful annexation to the City, there will not be an impact on the development concept, physical and social enhancement of environment of the site or surrounding area and community. Furthermore, future subdivision or construction of residences on the property (should there be any) would be subject to review and approval by the City during the applicable permitting process. All potential future development of the property is subject to the applicable portions of the Oregon City Municipal Code and all other relevant standards.

VIII. TYPE AND NATURE OF REQUIRED COMPREHENSIVE PLAN, OR ZONING, TEXT OR MAP AMENDMENTS

Oregon City Municipal Code Subsection 14.04.050(E) (7): Annexation Procedures

Required Comprehensive Plan and/or Zoning Text or Map Amendments

As noted above, under the Clackamas County / Oregon City UGMA, the parcel already exhibits an Oregon City Comprehensive Plan Designation of Low Density residential (LR). Upon successful annexation, the site will automatically be zoned R-10 Single Family Dwelling District, pursuant to Section 17.68.025 of the

Oregon City Municipal Code (OMC). Therefore, no Comprehensive Plan Map or text. Amendments will be required for the annexation, but a Zoning Map Amendment will be required.

IX. CITY OF OREGON CITY COMPREHENSIVE PLAN

Goal 14.3: Orderly Provision of Services to Growth Areas

Policy 14.3.1 – Annexation of the subject property will not affect current public facilities or services. If the property were to be subdivided and additional homes built in the future, utility connections and services would be made available.

Policy 14.3.2 – Annexation of the subject property will not affect existing utility services. If the parcel were to be subdivided and additional homes built in the future, the extension of new services would not diminish the delivery of those same services to existing areas and residents in the City.

Policy 14.3.3 – Annexation of the subject property will not create a new service district. If the property were to be subdivided and additional homes built in the future, connections would be made to existing facilities and would not create a new service district.

Policy 14.3.4 – Annexation of the subject property will not create any new service connections, so there will be no cost borne by the applicant for connections. The applicant will file the appropriate documents for annexation into the Tri-City sewer service District if the annexation is successful, but no sewer connection will be made. If the property were to be subdivided and additional homes built in the future, the utility connection fees, SDC's and ongoing user fees, would be paid for by private parties.

Therefore, this proposal is consistent with Goal 14.3 and its' policies 14.3.1 – 14.3.4 of the City's Comprehensive Plan.

Goal 14.4: Annexation of Lands to the City

Policy 14.4.1 – Annexation of the subject property would support compact urban form and support efficient delivery of public services as the site is within the City's Urban Growth Boundary and contiguous with the City Limits.

Policy 14.4.2 – Annexation alone of the subject property will not fiscally impact the City of Oregon City. There will not be any additional demand of fire services, as the property is currently within and served by Clackamas County Fire District No. 1. The City will not collect SDC fees unless the property is subdivided and new homes are built in the future or the existing house is connected to sewer, as the property will not be connecting immediately to City operated utilities at this time.

The property is currently being served by Clackamas County Sheriff's Office. It will be annexed into and served by the Oregon City Police Department upon annexation. Fees for police services will not be collected at the time of annexation. If the subject property were to be subdivided and additional homes built in the future, a fee of \$3,500 per new dwelling unit for police services would be applied when a new building permit was applied for on the annexed property. Utility (water, sewer and drainage) connections would be paid for through SDC fees. Additional property would also result in additional property tax revenue.

Policy 14.4.3 – As shown on the preliminary plans, annexation of the subject property will not create unincorporated islands within the City, will allow public services to be extended to the area if the parcel were to be subdivided and additional homes built in the future, and does not conflict with the City’s master plan.

Policy 14.4.4 – Annexation of the subject property will not affect sewer service as the property is currently served by private septic system. The applicant will file the appropriate documents for annexation into the Tri-City Service District if the annexation is successful, but no sewer connection will be made. If the subject property were to be subdivided in the future, the existing sanitary mains could be extended and made available for connection.

Therefore, this proposal is consistent with Goal 14.4 and its’ policies 14.4.1 – 14.4.4 of the City’s Comprehensive Plan.

X. REGIONAL PLANNING CRITERIA

Metro boundary Change Criteria

By meeting the annexation criteria set forth by the City, the proposed annexation is consistent with the Metro Boundary Change Criteria.

Clackamas County Urban Growth Management Agreement (UGMA)

This annexation area is currently under the jurisdiction of unincorporated Clackamas County and is designated Future Urbanizable (FU-10), meaning that it is poised to urbanize, but must first connect to urban services. Under the Clackamas County / Oregon City UGMA, urbanization of the proposed annexation area, and possible connections to urban services in the future, requires the subject property to first be annexed to the City of Oregon City. Per that UGMA, the property exhibits an Oregon City Comprehensive Plan Designation of Low Density Residential (LR). Upon successful annexation, the site would automatically be zoned with the R-10 Single Family Dwelling District, pursuant to Section 17.68.025 of the OMC. Therefore, the proposed annexation area meets the applicable criteria for annexation to the City of Oregon City, pursuant to the Clackamas County / Oregon City UGMA.

XI. CONCLUSION

The required findings have been made and the written narrative and accompanying documentation demonstrate that the proposal is consistent with the applicable provisions of the City of Oregon City Municipal Code. The evidence in the record is substantial and supports scheduling a hearing with the City Council for approval of the annexation to be placed on the ballot. Therefore, the applicant respectfully requests approval of the proposed Annexation Application.

PUBLIC FACILITIES MEMORANDUM

April 22, 2014

City of Oregon City
Planning Department
221 Molalla Avenue, Suite 200
Oregon City, OR 97045

Re: Adequacy of Public Facilities (Water, Sanitary Sewer, Storm Drainage, and Streets) for an Annexation on Property located along South McCord Road (identified as Clackamas County 3 2 E 07B 04100)

City Planning Department Staff:

AKS has performed engineering due diligence for the subject properties including reviewing City Master Plans for transportation and utilities, reviewing City GIS Maps and as-built records. AKS is familiar with this area, as we have performed engineering services on several projects near to and/or adjacent to the subject properties. In addition, AKS reviewed the project with City Engineering Staff. Through our research, we are not aware of any deficiencies with public facilities. It is our understanding that public facilities are available and adequate for the annexation of this property.

Sincerely,
AKS ENGINEERING & FORESTRY, LLC



Montgomery B. Hurley – PE, PLS Principal



NOTICE LIST

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

1

Owner	: Abraham Philip J	Parcel #	: 05014865
Site	: 19424 Reddaway Ave Oregon City 97045	Ref Parcel #	: 32E07BD03300
Mail	: 19424 Reddaway Ave Oregon City Or 97045	13-14Taxes	: \$3,673.26
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$231,717
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 10/31/2013	Sales Price	:
Prior Sale Date	: 10/29/2010	Prior Sale Price	: \$200,000 Full
Legal	: SUBDIVISION RIAN PARK 4054 LT 33	Doc #	: 013-074513
:	:	Prior Doc#	: 010-068882
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$162,410
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 2,035
		Lot Sq Ft: 3,746	Acres: .09

2

Owner	: Alexander James E/Laurie J	Parcel #	: 05022911
Site	: 12753 Anita Pl Oregon City 97045	Ref Parcel #	: 32E07BD03862
Mail	: 208 NE 199th Ave Portland Or 97230	13-14Taxes	: \$1,205.56
Land Use	: 100 Vacant,Residential Land	Market Total	: \$72,468
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 01/03/2014	Sales Price	: \$366,400
Prior Sale Date	: 09/14/2011	Prior Sale Price	: \$275,000 Full
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 014-000181
:	:	Prior Doc#	: 011-052146
:	:	Market Land	: \$72,468
:	:	Mkt Structure	:
Bedrooms:	Bath:	YearBuilt:	BldgSqft:
		Lot Sq Ft: 8,004	Acres: .18

3

Owner	: Anderson Monica	Parcel #	: 05014867
Site	: 19527 Leland Rd Oregon City 97045	Ref Parcel #	: 32E07BD03500
Mail	: 16349 SW 107th Ct Tigard Or 97224	13-14Taxes	: \$3,701.66
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$234,747
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 09/11/2007	Sales Price	: \$305,000
Prior Sale Date	:	Prior Sale Price	:
Legal	: SUBDIVISION RIAN PARK 4054 LT 35	Doc #	: 007-078034
:	:	Prior Doc#	:
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$165,440
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 2,008
		Lot Sq Ft: 4,351	Acres: .10

4

Owner	: Baker Michael & Tara	Parcel #	: 05014834
Site	: 12670 Joseph Way Oregon City 97045	Ref Parcel #	: 32E07BD00200
Mail	: 12670 Joseph Way Oregon City Or 97045	13-14Taxes	: \$3,669.77
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$241,887
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 06/29/2007	Sales Price	: \$316,225
Prior Sale Date	:	Prior Sale Price	:
Legal	: SUBDIVISION RIAN PARK 4054 LT 2	Doc #	: 007-057612
:	:	Prior Doc#	:
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$172,580
Bedrooms: 3	Bath: 2.50	YearBuilt: 2007	BldgSqft: 2,035
		Lot Sq Ft: 3,371	Acres: .08

5

Owner	: Basom Lara J	Parcel #	: 05022922
Site	: 12667 Anita Pl Oregon City 97045	Ref Parcel #	: 32E07BD03873
Mail	: 12667 Anita Pl Oregon City Or 97045	13-14Taxes	: \$1,915.35
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$116,727
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 03/01/2013	Sales Price	: \$268,761
Prior Sale Date	: 09/14/2011	Prior Sale Price	: \$275,000 Full
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 013-014606
:	:	Prior Doc#	: 011-052146
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$47,420
Bedrooms: 3	Bath: 2.50	YearBuilt: 2012	BldgSqft: 2,274
		Lot Sq Ft: 3,400	Acres: .08

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)**# 6**

Owner	: Bilyeu Jeff & Melissa	Parcel #	: 05014839
Site	: 12647 Villard Pl Oregon City 97045	Ref Parcel #	: 32E07BD00700
Mail	: 12647 Villard Pl Oregon City Or 97045	13-14Taxes	: \$3,607.04
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$228,747
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 02/22/2008	Sales Price	: \$290,000 Full
Prior Sale Date	: 08/14/2006	Prior Sale Price	: \$1,000,000
Legal	: SUBDIVISION RIAN PARK 4054 LT 7	Doc #	: 008-012418
:	:	Prior Doc#	: 006-076032
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$159,440
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 1,946
		Lot Sq Ft: 3,813	Acres: .09

7

Owner	: Bosnjak Kasim T	Parcel #	: 05014840
Site	: 12653 Villard Pl Oregon City 97045	Ref Parcel #	: 32E07BD00800
Mail	: 12653 Villard Pl Oregon City Or 97045	13-14Taxes	: \$3,686.34
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$230,107
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 02/28/2012	Sales Price	:
Prior Sale Date	: 04/30/2010	Prior Sale Price	: \$250,080 Full
Legal	: SUBDIVISION RIAN PARK 4054 LT 8	Doc #	: 012-011522
:	:	Prior Doc#	: 010-025895
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$160,800
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 2,035
		Lot Sq Ft: 3,380	Acres: .08

8

Owner	: Box Elizabeth Diane & Jeremy	Parcel #	: 05022890
Site	: 12675 Joseph Way Oregon City 97045	Ref Parcel #	: 32E07BD03841
Mail	: 12675 Joseph Way Oregon City Or 97045	13-14Taxes	: \$3,979.78
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$243,847
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 04/18/2012	Sales Price	: \$226,900 Full
Prior Sale Date	: 09/14/2011	Prior Sale Price	: \$275,000 Full
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 012-023640
:	: 41	Prior Doc#	: 011-052146
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$174,540
Bedrooms: 3	Bath: 2.50	YearBuilt: 2012	BldgSqft: 2,027
		Lot Sq Ft: 3,498	Acres: .08

9

Owner	: Bredehoeft Donald W & Rita R	Parcel #	: 05014842
Site	: 12665 Villard Pl Oregon City 97045	Ref Parcel #	: 32E07BD01000
Mail	: 12665 Villard Pl Oregon City Or 97045	13-14Taxes	: \$3,576.55
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$235,177
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 02/14/2008	Sales Price	: \$292,400
Prior Sale Date	: 01/25/2007	Prior Sale Price	: \$250,000
Legal	: SUBDIVISION RIAN PARK 4054 LT 10	Doc #	: 008-010084
:	:	Prior Doc#	: 007-007454
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$165,870
Bedrooms: 3	Bath: 2.50	YearBuilt: 2007	BldgSqft: 1,991
		Lot Sq Ft: 3,380	Acres: .08

10

Owner	: Bretherton Gary/Samara J	Parcel #	: 05022921
Site	: 12673 Anita Pl Oregon City 97045	Ref Parcel #	: 32E07BD03872
Mail	: 1306 Meadow Dr Molalla Or 97038	13-14Taxes	: \$862.17
Land Use	: 100 Vacant,Residential Land	Market Total	: \$51,876
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 08/29/2013	Sales Price	: \$273,900
Prior Sale Date	: 09/14/2011	Prior Sale Price	: \$275,000 Full
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 013-062102
:	: 72	Prior Doc#	: 011-052146
:	:	Market Land	: \$51,876
:	:	Mkt Structure	:
Bedrooms:	Bath:	YearBuilt:	BldgSqft:
			Lot Sq Ft: 3,465
			Acres: .08

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

11

Owner	: Brown Bryan R & Natalie R	Parcel #	: 05014844
Site	: 12677 Villard Pl Oregon City 97045	Ref Parcel #	: 32E07BD01200
Mail	: 12677 Villard Pl Oregon City Or 97045	13-14Taxes	: \$3,605.57
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$237,517
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 07/12/2007	Sales Price	: \$313,900
Prior Sale Date	:	Doc #	: 007-061095
Legal	: SUBDIVISION RIAN PARK 4054 LT 12	Prior Doc#	:
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$168,210
Bedrooms: 3	Bath: 2.50	YearBuilt: 2007	BldgSqft: 2,053
		Lot Sq Ft: 3,380	Acres: .08

12

Owner	: Brown Dennis Mark	Parcel #	: 00862490
Site	: 19565 Leland Rd Oregon City 97045	Ref Parcel #	: 32E07B 04104
Mail	: 19565 Leland Rd Oregon City Or 97045	13-14Taxes	: \$2,775.80
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$207,258
MapGrid	: 717 C5	Millage Rate	: 14.9468
Sale Date	: 10/27/1998	Sales Price	: \$163,000
Prior Sale Date	:	Doc #	: 098-101393
Legal	: SECTION 07 TOWNSHIP 3S RANGE 2E	Prior Doc#	:
:	: QUARTER B TAX LOT 04104	Market Land	: \$104,468
:	:	Mkt Structure	: \$102,790
Bedrooms: 3	Bath: 2.00	YearBuilt: 1972	BldgSqft: 1,568
		Lot Sq Ft: 20,473	Acres: .47

13

Owner	: Bullock Wyatt	Parcel #	: 05022923
Site	: 12661 Anita Pl Oregon City 97045	Ref Parcel #	: 32E07BD03874
Mail	: 12661 Anita Pl Oregon City Or 97045	13-14Taxes	: \$1,796.47
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$109,407
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 04/04/2013	Sales Price	: \$234,900
Prior Sale Date	: 09/14/2011	Doc #	: 013-023131
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Prior Doc#	: 011-052146
:	: 74	Market Land	: \$69,307
:	:	Mkt Structure	: \$40,100
Bedrooms: 3	Bath: 2.50	YearBuilt: 2012	BldgSqft: 1,700
		Lot Sq Ft: 3,400	Acres: .08

14

Owner	: City of Oregon City	Parcel #	: 05022945
Site	: *no Site Address*	Ref Parcel #	: 32E07BD03896
Mail	: PO Box 3040 Oregon City Or 97045	13-14Taxes	:
Land Use	: 100 Vacant,Residential Land	Market Total	: \$5,243
MapGrid	:	Millage Rate	: 18.1778
Sale Date	:	Doc #	:
Prior Sale Date	:	Prior Doc#	:
Legal	: SUBDIVISION PAVILION PARK 4294	Market Land	: \$5,243
:	: TRACT A	Mkt Structure	:
Bedrooms:	Bath:	YearBuilt:	BldgSqft:
		Lot Sq Ft: 34,128	Acres: .78

15

Owner	: City of Oregon City	Parcel #	: 05014869
Site	: *no Site Address*	Ref Parcel #	: 32E07BD03700
Mail	: PO Box 3040 Oregon City Or 97045	13-14Taxes	:
Land Use	: 100 Vacant,Residential Land	Market Total	: \$9,338
MapGrid	:	Millage Rate	: 18.1778
Sale Date	:	Doc #	:
Prior Sale Date	:	Prior Doc#	:
Legal	: SUBDIVISION RIAN PARK 4054 TRACT A	Market Land	: \$9,338
:	: STORMWATER MANAGEMENT	Mkt Structure	:
Bedrooms:	Bath:	YearBuilt:	BldgSqft:
		Lot Sq Ft: 10,485	Acres: .24

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

16

Owner

Site

Mail

Land Use

MapGrid

Sale Date

Prior Sale Date

Legal

: Clark David S & Tari L

: 12652 Joseph Way Oregon City 97045

: 12652 Joseph Way Oregon City Or 97045

: 101 Res,Residential Land,Improved

: 717 C5

: 08/03/2007

: SUBDIVISION RIAN PARK 4054 LT 5

:

Sales Price

Prior Sale Price

: \$314,670

:

Parcel #

Ref Parcel #

13-14Taxes

Market Total

Millage Rate

Doc #

Prior Doc#

Market Land

Mkt Structure

: 05014837

: 32E07BD00500

: \$3,595.02

: \$236,567

: 18.1778

: 007-067890

:

: \$69,307

: \$167,260

Bedrooms: 3

Bath: 4.00

YearBuilt: 2007

BldgSqft: 2,038

Lot Sq Ft: 3,371

Acres: .08

17

Owner

Site

Mail

Land Use

MapGrid

Sale Date

Prior Sale Date

Legal

: Coday James & Rachael

: 19581 Kalal Ct Oregon City 97045

: 18266 SW Mer Ct Sherwood Or 97140

: 101 Res,Residential Land,Improved

: 717 C5

: 04/10/2012

: 1629 KALAL SUBDIV #2 LT 26

:

Sales Price

Prior Sale Price

: \$122,000 Full

:

Parcel #

Ref Parcel #

13-14Taxes

Market Total

Millage Rate

Doc #

Prior Doc#

Market Land

Mkt Structure

: 00863220

: 32E07DC02600

: \$2,229.64

: \$180,908

: 14.9468

: 012-021612

:

: \$104,068

: \$76,840

Bedrooms: 3

Bath: 2.50

YearBuilt: 1972

BldgSqft: 1,675

Lot Sq Ft: 20,145

Acres: .46

18

Owner

Site

Mail

Land Use

MapGrid

Sale Date

Prior Sale Date

Legal

: Cook William & Tammy

: 12682 Anita Pl Oregon City 97045

: 12682 Anita Pl Oregon City Or 97045

: 101 Res,Residential Land,Improved

: 717 B5

: 10/13/2011

: SUBDIVISION PAVILION PARK 4294 LT

: 54

Sales Price

Prior Sale Price

: \$237,900 Full

: \$264,750 Full

Parcel #

Ref Parcel #

13-14Taxes

Market Total

Millage Rate

Doc #

Prior Doc#

Market Land

Mkt Structure

: 05022903

: 32E07BD03854

: \$3,843.73

: \$275,872

: 18.1778

: 011-058643

: 010-058730

: \$81,342

: \$194,530

Bedrooms: 3

Bath: 2.00

YearBuilt: 2010

BldgSqft: 1,698

Lot Sq Ft: 6,186

Acres: .14

19

Owner

Site

Mail

Land Use

MapGrid

Sale Date

Prior Sale Date

Legal

: Cotnam Troy D & Stacie J

: 12649 Anita Pl Oregon City 97045

: 11976 SE 33rd Ave Milwaukie Or 97222

: 101 Res,Residential Land,Improved

: 717 B5

: 02/28/2012

: SUBDIVISION PAVILION PARK 4294 LT

: 76

Sales Price

Prior Sale Price

: \$239,900 Full

: \$275,000 Full

Parcel #

Ref Parcel #

13-14Taxes

Market Total

Millage Rate

Doc #

Prior Doc#

Market Land

Mkt Structure

: 05022925

: 32E07BD03876

: \$3,821.65

: \$253,247

: 18.1778

: 012-011338

: 011-052146

: \$69,307

: \$183,940

Bedrooms: 3

Bath: 2.50

YearBuilt: 2011

BldgSqft: 2,268

Lot Sq Ft: 3,400

Acres: .08

20

Owner

Site

Mail

Land Use

MapGrid

Sale Date

Prior Sale Date

Legal

: Craft Steven & Vicci

: 12646 Joseph Way Oregon City 97045

: 18281 S Brookstone Dr Oregon City Or 97045

: 101 Res,Residential Land,Improved

: 717 C5

: 05/16/2012

: SUBDIVISION RIAN PARK 4054 LT 6

:

Sales Price

Prior Sale Price

: \$215,000 Full

: \$315,085 Full

Parcel #

Ref Parcel #

13-14Taxes

Market Total

Millage Rate

Doc #

Prior Doc#

Market Land

Mkt Structure

: 05014838

: 32E07BD00600

: \$3,625.32

: \$238,857

: 18.1778

: 012-030384

: 012-004558

: \$69,307

: \$169,550

Bedrooms: 3

Bath: 2.50

YearBuilt: 2007

BldgSqft: 2,053

Lot Sq Ft: 3,788

Acres: .09

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

21

Owner	: Creel Bill & Dana	Parcel #	: 00862472
Site	: 19630 McCord Rd Oregon City 97045	Ref Parcel #	: 32E07B 04101
Mail	: 19630 McCord Rd Oregon City Or 97045	13-14Taxes	: \$2,560.68
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$201,586
MapGrid	: 717 B5	Millage Rate	: 14.9468
Sale Date	: 09/01/2008	Sales Price	:
Prior Sale Date	: 06/18/2001	Prior Sale Price	: \$202,000
Legal	: SECTION 07 TOWNSHIP 3S RANGE 2E	Doc #	: 008-063341
	: QUARTER B TAX LOT 04101	Prior Doc#	: 001-046024
		Market Land	: \$121,266
		Mkt Structure	: \$80,320
Bedrooms: 4	Bath: 1.00	YearBuilt: 1920	BldgSqft: 1,341
		Lot Sq Ft: 43,996	Acres: 1.01

22

Owner	: Crews Matthew C & Katherine B	Parcel #	: 05022915
Site	: 12721 Anita Pl Oregon City 97045	Ref Parcel #	: 32E07BD03866
Mail	: 12721 Anita Pl Oregon City Or 97045	13-14Taxes	: \$3,063.93
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$187,172
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 02/11/2013	Sales Price	: \$307,900
Prior Sale Date	: 09/14/2011	Prior Sale Price	: \$275,000 Full
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 013-009761
	: 66	Prior Doc#	: 011-052146
		Market Land	: \$81,342
		Mkt Structure	: \$105,830
Bedrooms: 4	Bath: 2.50	YearBuilt: 2012	BldgSqft: 2,850
		Lot Sq Ft: 6,022	Acres: .14

23

Owner	: Davidson Brent A & Abbey N	Parcel #	: 05022904
Site	: 12690 Anita Pl Oregon City 97045	Ref Parcel #	: 32E07BD03855
Mail	: 12690 Anita Pl Oregon City Or 97045	13-14Taxes	: \$3,714.07
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$266,312
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 06/24/2011	Sales Price	: \$249,900 Full
Prior Sale Date	:	Prior Sale Price	:
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 011-036137
	: 55	Prior Doc#	:
		Market Land	: \$81,342
		Mkt Structure	: \$184,970
Bedrooms: 3	Bath: 2.00	YearBuilt: 2010	BldgSqft: 1,688
		Lot Sq Ft: 6,515	Acres: .15

24

Owner	: Deschaine Michael L & Janine I	Parcel #	: 05022924
Site	: 12655 Anita Pl Oregon City 97045	Ref Parcel #	: 32E07BD03875
Mail	: 12655 Anita Pl Oregon City Or 97045	13-14Taxes	: \$3,672.37
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$224,917
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 06/15/2012	Sales Price	: \$218,213 Full
Prior Sale Date	: 03/13/2012	Prior Sale Price	: \$359,400 Full
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 012-037417
	: 75	Prior Doc#	: 012-014940
		Market Land	: \$69,307
		Mkt Structure	: \$155,610
Bedrooms: 3	Bath: 2.50	YearBuilt: 2012	BldgSqft: 1,676
		Lot Sq Ft: 3,400	Acres: .08

25

Owner	: Devault Sean A & Brenda L	Parcel #	: 05014845
Site	: 12678 Villard Pl Oregon City 97045	Ref Parcel #	: 32E07BD01300
Mail	: 12678 Villard Pl Oregon City Or 97045	13-14Taxes	: \$3,734.23
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$236,217
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 02/07/2007	Sales Price	: \$303,120
Prior Sale Date	:	Prior Sale Price	:
Legal	: SUBDIVISION RIAN PARK 4054 LT 13	Doc #	: 007-010667
	:	Prior Doc#	:
		Market Land	: \$69,307
		Mkt Structure	: \$166,910
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 2,035
		Lot Sq Ft: 3,845	Acres: .09

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

26

Owner : **Dietrich Michael W**

Site : 12745 Anita Pl Oregon City 97045

Mail : 12745 Anita Pl Oregon City Or 97045

Land Use : 101 Res,Residential Land,Improved

MapGrid : 717 B5

Sale Date : 05/13/2013

Prior Sale Date : 10/24/2012

Legal : SUBDIVISION PAVILION PARK 4294 LT

63

Sales Price : \$327,900

Prior Sale Price : \$74,650

Parcel # : 05022912

Ref Parcel # : 32E07BD03863

13-14Taxes : \$1,828.07

Market Total : \$111,072

Millage Rate : 18.1778

Doc # : 013-032815

Prior Doc# : 012-069565

Market Land : \$81,342

Mkt Structure : \$29,730

Bedrooms: 4

Bath: 2.50

YearBuilt: 2012

BldgSqft: 2,812

Lot Sq Ft: 6,467

Acres: .15

27

Owner : **Douglass Diane M**

Site : 19588 McCord Rd Oregon City 97045

Mail : 19588 McCord Rd Oregon City Or 97045

Land Use : 401 Tract,Tract Land,Improved

MapGrid : 717 B5

Sale Date : 08/13/2003

Prior Sale Date : 12/23/1992

Legal : SECTION 07 TOWNSHIP 3S RANGE 2E

QUARTER B TAX LOT 04100

Sales Price : \$125,000

Prior Sale Price : \$125,000

Parcel # : 00862463

Ref Parcel # : 32E07B 04100

13-14Taxes : \$5,541.64

Market Total : \$420,001

Millage Rate : 14.9468

Doc # : 003-106538

Prior Doc# : 0092-81979

Market Land : \$215,661

Mkt Structure : \$204,340

Bedrooms: 3

Bath: 2.00

YearBuilt: 1978

BldgSqft: 4,464

Lot Sq Ft: 237,838

Acres: 5.46

28

Owner : **Douglass Judy J**

Site : 19575 Leland Rd Oregon City 97045

Mail : 19575 Leland Rd Oregon City Or 97045

Land Use : 101 Res,Residential Land,Improved

MapGrid : 717 C5

Sale Date :

Prior Sale Date :

Legal : SECTION 07 TOWNSHIP 3S RANGE 2E

QUARTER B TAX LOT 04106

Sales Price :

Prior Sale Price :

Parcel # : 00862515

Ref Parcel # : 32E07B 04106

13-14Taxes : \$2,653.41

Market Total : \$206,740

Millage Rate : 14.9468

Doc # : 87-03341

Prior Doc# :

Market Land : \$124,420

Mkt Structure : \$82,320

Bedrooms: 3

Bath: 2.00

YearBuilt: 1976

BldgSqft: 1,826

Lot Sq Ft: 40,075

Acres: .92

29

Owner : **Dupell Wayne Arnold & Katherine F**

Site : 19580 Kalal Ct Oregon City 97045

Mail : 19580 Kalal Ct Oregon City Or 97045

Land Use : 101 Res,Residential Land,Improved

MapGrid : 717 C5

Sale Date :

Prior Sale Date :

Legal : 1629 KALAL SUBDIV #2 LT 27

:

Sales Price :

Prior Sale Price :

Parcel # : 00863239

Ref Parcel # : 32E07DC02700

13-14Taxes : \$2,360.22

Market Total : \$182,228

Millage Rate : 14.9468

Doc # : 77-05346

Prior Doc# :

Market Land : \$104,068

Mkt Structure : \$78,160

Bedrooms: 4

Bath: 1.50

YearBuilt: 1973

BldgSqft: 1,387

Lot Sq Ft: 20,145

Acres: .46

30

Owner : **Edwards Kelly L**

Site : 12671 Villard Pl Oregon City 97045

Mail : 12671 Villard Pl Oregon City Or 97045

Land Use : 101 Res,Residential Land,Improved

MapGrid : 717 C5

Sale Date : 02/07/2008

Prior Sale Date : 03/07/2007

Legal : SUBDIVISION RIAN PARK 4054 LT 11

:

Sales Price : \$304,500

Prior Sale Price : \$250,000

Parcel # : 05014843

Ref Parcel # : 32E07BD01100

13-14Taxes : \$3,575.69

Market Total : \$235,467

Millage Rate : 18.1778

Doc # : 008-008454

Prior Doc# : 007-020261

Market Land : \$69,307

Mkt Structure : \$166,160

Bedrooms: 3

Bath: 2.50

YearBuilt: 2007

BldgSqft: 1,951

Lot Sq Ft: 3,380

Acres: .08

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

31

Owner

Site

Mail

Land Use

MapGrid

Sale Date

Prior Sale Date

Legal

: Effinger Cheri L Trustee

: 19348 Pelican Lake Pl Oregon City 97045

: 19348 Pelican Lake Pl Oregon City Or 97045

: 101 Res,Residential Land,Improved

: 717 B5

: 01/07/2013

: 03/28/2012

: SUBDIVISION PAVILION PARK 4294 LT

: 57

Bedrooms: 3

Bath: 2.00

YearBuilt: 2012

BldgSqft: 2,148

Parcel #

Ref Parcel #

13-14Taxes

Market Total

Millage Rate

Doc #

Prior Doc#

Market Land

Mkt Structure

: 05022906

: 32E07BD03857

: \$4,921.15

: \$301,532

: 18.1778

: 013-000745

: 012-018414

: \$81,342

: \$220,190

Lot Sq Ft: 6,336

Acres: .15

32

Owner

Site

Mail

Land Use

MapGrid

Sale Date

Prior Sale Date

Legal

: Fathalla Ali

: 19667 Leland Rd Oregon City 97045

: 19667 Leland Rd Oregon City Or 97045

: 101 Res,Residential Land,Improved

: 717 C5

: 06/13/2008

: 11/19/2001

: SECTION 07 TOWNSHIP 3S RANGE 2E

: QUARTER C TAX LOT 00105

Bedrooms: 3

Bath: 2.00

YearBuilt: 1977

BldgSqft: 2,394

Parcel #

Ref Parcel #

13-14Taxes

Market Total

Millage Rate

Doc #

Prior Doc#

Market Land

Mkt Structure

: 00862579

: 32E07C 00105

: \$3,528.54

: \$259,872

: 14.9468

: 008-043078

: 001-096743

: \$115,732

: \$144,140

Lot Sq Ft: 29,621

Acres: .68

33

Owner

Site

Mail

Land Use

MapGrid

Sale Date

Prior Sale Date

Legal

: Faucett Timothy E & Rolonda M

: 19629 McCord Rd Oregon City 97045

: 19629 McCord Rd Oregon City Or 97045

: 101 Res,Residential Land,Improved

: 717 B5

: 06/01/1994

:

: SEE SPLIT CODE ACCT 00301

:

Bedrooms: 4

Bath: 2.00

YearBuilt: 1948

BldgSqft: 2,396

Parcel #

Ref Parcel #

13-14Taxes

Market Total

Millage Rate

Doc #

Prior Doc#

Market Land

Mkt Structure

: 01655658

: 32E07C 00391

: \$2,236.56

: \$169,493

: 14.9468

: 94-48159

:

: \$53,423

: \$116,070

Lot Sq Ft: 8,276

Acres: .19

34

Owner

Site

Mail

Land Use

MapGrid

Sale Date

Prior Sale Date

Legal

: Faucett Timothy E & Rolonda M

: 19629 McCord Rd Oregon City 97045

: 19629 McCord Rd Oregon City Or 97045

: 101 Res,Residential Land,Improved

: 717 B5

: 06/10/1994

:

: SEE SPLIT CODE ACCT 00391

:

Bedrooms:

Bath:

YearBuilt:

BldgSqft:

Parcel #

Ref Parcel #

13-14Taxes

Market Total

Millage Rate

Doc #

Prior Doc#

Market Land

Mkt Structure

: 00862640

: 32E07C 00301

: \$512.17

: \$59,239

: 14.2270

: 0094-48159

:

: \$59,239

:

Lot Sq Ft: 18,295

Acres: .42

35

Owner

Site

Mail

Land Use

MapGrid

Sale Date

Prior Sale Date

Legal

: Fisher Kellie I

: 19555 Leland Rd Oregon City 97045

: 19555 Leland Rd Oregon City Or 97045

: 101 Res,Residential Land,Improved

: 717 C5

: 08/30/1996

: 05/19/1993

: SECTION 07 TOWNSHIP 3S RANGE 2E

: QUARTER B TAX LOT 04105

Bedrooms: 3

Bath: 2.00

YearBuilt: 1979

BldgSqft: 1,526

Parcel #

Ref Parcel #

13-14Taxes

Market Total

Millage Rate

Doc #

Prior Doc#

Market Land

Mkt Structure

: 00862506

: 32E07B 04105

: \$2,570.23

: \$195,638

: 14.9468

: 0096-64521

: 0093-33510

: \$104,468

: \$91,170

Lot Sq Ft: 20,038

Acres: .46

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

36

Owner	: Fuller Kelly-Shane	Parcel #	: 05014859
Site	: 12668 Ross St Oregon City 97045	Ref Parcel #	: 32E07BD02700
Mail	: 12668 Ross St Oregon City Or 97045	13-14Taxes	: \$3,648.41
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$231,697
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 01/21/2011	Sales Price	: \$210,000 Full
Prior Sale Date	: 11/12/2010	Prior Sale Price	: \$284,646
Legal	: SUBDIVISION RIAN PARK 4054 LT 27	Doc #	: 011-005131
:	:	Prior Doc#	: 010-072389
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$162,390
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 2,035
		Lot Sq Ft: 3,351	Acres: .08

37

Owner	: Gervais Chrystal A	Parcel #	: 05014849
Site	: 12654 Villard Pl Oregon City 97045	Ref Parcel #	: 32E07BD01700
Mail	: PO Box 2924 Oregon City Or 97045	13-14Taxes	: \$3,722.51
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$235,697
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 02/15/2011	Sales Price	: \$210,000 Full
Prior Sale Date	: 02/23/2007	Prior Sale Price	: \$312,900
Legal	: SUBDIVISION RIAN PARK 4054 LT 17	Doc #	: 011-010859
:	:	Prior Doc#	: 007-015600
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$166,390
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 2,035
		Lot Sq Ft: 3,385	Acres: .08

38

Owner	: Giordano Jennifer Christine	Parcel #	: 05014853
Site	: 12661 Ross St Oregon City 97045	Ref Parcel #	: 32E07BD02100
Mail	: 17879 Peter Skene Way Oregon City Or 97045	13-14Taxes	: \$3,587.53
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$236,267
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 08/30/2011	Sales Price	: \$206,060 Full
Prior Sale Date	: 04/05/2007	Prior Sale Price	: \$300,000
Legal	: SUBDIVISION RIAN PARK 4054 LT 21	Doc #	: 011-049271
:	:	Prior Doc#	: 007-029391
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$166,960
Bedrooms: 3	Bath: 2.50	YearBuilt: 2007	BldgSqft: 2,011
		Lot Sq Ft: 3,475	Acres: .08

39

Owner	: Gorman Kent Leon & Molly K	Parcel #	: 01655649
Site	: 19613 McCord Rd Oregon City 97045	Ref Parcel #	: 32E07C 00390
Mail	: 19613 McCord Rd Oregon City Or 97045	13-14Taxes	: \$2,975.80
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$214,764
MapGrid	: 717 B5	Millage Rate	: 14.9468
Sale Date	: 03/10/2006	Sales Price	: \$259,900
Prior Sale Date	: 12/21/1998	Prior Sale Price	: \$157,000
Legal	: SEE SPLIT CODE ACCT 00300	Doc #	: 006-021544
:	:	Prior Doc#	: 098-121633
:	:	Market Land	: \$42,604
:	:	Mkt Structure	: \$172,160
Bedrooms: 3	Bath: 2.00	YearBuilt: 1979	BldgSqft: 2,425
		Lot Sq Ft: 10,019	Acres: .23

40

Owner	: Gorman Kent Leon & Molly K	Parcel #	: 00862631
Site	: *no Site Address*	Ref Parcel #	: 32E07C 00300
Mail	: 19613 McCord Rd Oregon City Or 97045	13-14Taxes	: \$896.06
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$103,592
MapGrid	:	Millage Rate	: 14.2270
Sale Date	: 03/09/2006	Sales Price	: \$259,900
Prior Sale Date	:	Prior Sale Price	:
Legal	: SEE SPLIT CODE ACCT 00390	Doc #	: 06-021544
:	:	Prior Doc#	:
:	:	Market Land	: \$103,592
:	:	Mkt Structure	:
Bedrooms:	Bath:	YearBuilt:	BldgSqft:
		Lot Sq Ft: 65,340	Acres: 1.50

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

41

Owner	: Guy Robin & Marjorie	Parcel #	: 05022905
Site	: 19354 Pelican Lake Pl Oregon City 97045	Ref Parcel #	: 32E07BD03856
Mail	: 19354 Pelican Lake Pl Oregon City Or 97045	13-14Taxes	: \$4,226.41
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$258,752
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 01/30/2013	Sales Price	: \$284,900
Prior Sale Date	: 09/14/2011	Prior Sale Price	: \$275,000 Full
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 013-006983
	: 56	Prior Doc#	: 011-052146
		Market Land	: \$81,342
		Mkt Structure	: \$177,410
Bedrooms: 3	Bath: 2.00	YearBuilt: 2012	BldgSqft: 2,097
		Lot Sq Ft: 6,406	Acres: .15

42

Owner	: Hamilton Betty	Parcel #	: 05014851
Site	: 12649 Ross St Oregon City 97045	Ref Parcel #	: 32E07BD01900
Mail	: 12649 Ross St Oregon City Or 97045	13-14Taxes	: \$3,841.75
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$240,972
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 07/23/2010	Sales Price	:
Prior Sale Date	: 02/15/2007	Prior Sale Price	: \$299,960
Legal	: SUBDIVISION RIAN PARK 4054 LT 19	Doc #	: 010-044095
	:	Prior Doc#	: 007-013682
		Market Land	: \$78,022
		Mkt Structure	: \$162,950
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 2,035
		Lot Sq Ft: 5,624	Acres: .13

43

Owner	: Handris Holdings LLC	Parcel #	: 05022897
Site	: 19290 Reddaway Ave Oregon City 97045	Ref Parcel #	: 32E07BD03848
Mail	: 1980 Willamette Falls Dr #200 West Linn Or 97068	13-14Taxes	: \$3,667.03
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$241,487
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	:	Sales Price	:
Prior Sale Date	:	Prior Sale Price	:
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	:
	: 48	Prior Doc#	:
		Market Land	: \$69,307
		Mkt Structure	: \$172,180
Bedrooms: 3	Bath: 2.50	YearBuilt: 2010	BldgSqft: 1,844
		Lot Sq Ft: 4,477	Acres: .10

44

Owner	: Handris Holdings LLC	Parcel #	: 05022893
Site	: 12657 Joseph Way Oregon City 97045	Ref Parcel #	: 32E07BD03844
Mail	: 1980 Willamette Falls Dr #200 West Linn Or 97068	13-14Taxes	: \$3,456.76
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$227,007
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 09/12/2011	Sales Price	:
Prior Sale Date	:	Prior Sale Price	:
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 011-051449 Multi-Parcel
	: 44	Prior Doc#	:
		Market Land	: \$69,307
		Mkt Structure	: \$157,700
Bedrooms: 3	Bath: 2.50	YearBuilt: 2010	BldgSqft: 1,629
		Lot Sq Ft: 3,483	Acres: .08

45

Owner	: Handris Holdings LLC	Parcel #	: 05022895
Site	: 19302 Reddaway Ave Oregon City 97045	Ref Parcel #	: 32E07BD03846
Mail	: 1980 Willamette Falls Dr #200 West Linn Or 97068	13-14Taxes	: \$3,702.01
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$243,877
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 12/15/2010	Sales Price	:
Prior Sale Date	: 04/01/2010	Prior Sale Price	: \$319,600 Full
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 010-080281 Multi-Parcel
	: 46	Prior Doc#	: 010-019729
		Market Land	: \$69,307
		Mkt Structure	: \$174,570
Bedrooms: 3	Bath: 2.50	YearBuilt: 2010	BldgSqft: 1,812
		Lot Sq Ft: 4,439	Acres: .10

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

# 46						
Owner	: Herring Mark & Julie M			Parcel #	: 00862622	
Site	: *no Site Address*			Ref Parcel #	: 32E07C 00200	
Mail	: 15930 SE Mallard Ct Milwaukie Or 97267			13-14Taxes	: \$1,137.95	
Land Use	: 401 Tract,Tract Land,Improved			Market Total	: \$131,318	
MapGrid	:			Millage Rate	: 14.2270	
Sale Date	:	Sales Price	:	Doc #	:	
Prior Sale Date	:	Prior Sale Price	:	Prior Doc#	:	
Legal	: SEE SPLIT CODE ACCT 00290			Market Land	: \$131,318	
	:			Mkt Structure	:	
Bedrooms:	Bath:	YearBuilt:	BldgSqft:	Lot Sq Ft:	131,551	Acres: 3.02
# 47						
Owner	: Herring Mark & Julie M			Parcel #	: 01655630	
Site	: 19657 McCord Rd Oregon City 97045			Ref Parcel #	: 32E07C 00290	
Mail	: 15930 SE Mallard Ct Milwaukie Or 97267			13-14Taxes	: \$1,841.11	
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$143,333	
MapGrid	: 717 B5			Millage Rate	: 14.9468	
Sale Date	: 05/04/2012	Sales Price	:	Doc #	: 012-027926	
Prior Sale Date	: 09/27/2005	Prior Sale Price	: \$360,000	Prior Doc#	: 005-095293	
Legal	: SEE SPLIT CODE ACCT 00200			Market Land	: \$59,983	
	:			Mkt Structure	: \$83,350	
Bedrooms: 3	Bath: 1.00	YearBuilt: 1951	BldgSqft: 2,160	Lot Sq Ft:	32,670	Acres: .75
# 48						
Owner	: Hewitt Lori A			Parcel #	: 05014852	
Site	: 12655 Ross St Oregon City 97045			Ref Parcel #	: 32E07BD02000	
Mail	: 12655 Ross St Oregon City Or 97045			13-14Taxes	: \$3,518.30	
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$231,527	
MapGrid	: 717 C5			Millage Rate	: 18.1778	
Sale Date	: 12/31/2007	Sales Price	: \$276,000	Doc #	: 007-108307	
Prior Sale Date	: 02/05/2007	Prior Sale Price	: \$500,000	Prior Doc#	: 007-010669	
Legal	: SUBDIVISION RIAN PARK 4054 LT 20			Market Land	: \$69,307	
	:			Mkt Structure	: \$162,220	
Bedrooms: 3	Bath: 2.50	YearBuilt: 2007	BldgSqft: 1,871	Lot Sq Ft:	3,475	Acres: .08
# 49						
Owner	: Isenberger Daniel & Leandra			Parcel #	: 05022899	
Site	: 12656 Anita Pl Oregon City 97045			Ref Parcel #	: 32E07BD03850	
Mail	: 12656 Anita Pl Oregon City Or 97045			13-14Taxes	: \$3,451.36	
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$226,607	
MapGrid	: 717 B5			Millage Rate	: 18.1778	
Sale Date	: 02/25/2011	Sales Price	: \$214,900 Full	Doc #	: 011-013125	
Prior Sale Date	: 03/31/2010	Prior Sale Price	: \$79,900 Full	Prior Doc#	: 010-019474	
Legal	: SUBDIVISION PAVILION PARK 4294 LT			Market Land	: \$69,307	
	: 50			Mkt Structure	: \$157,300	
Bedrooms: 3	Bath: 2.50	YearBuilt: 2010	BldgSqft: 1,695	Lot Sq Ft:	3,485	Acres: .08
# 50						
Owner	: Jamison Matthew			Parcel #	: 05022909	
Site	: 12760 Anita Pl Oregon City 97045			Ref Parcel #	: 32E07BD03860	
Mail	: 12760 Anita Pl Oregon City Or 97045			13-14Taxes	: \$4,972.32	
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$304,682	
MapGrid	: 717 B5			Millage Rate	: 18.1778	
Sale Date	: 07/26/2012	Sales Price	: \$284,900	Doc #	: 012-046830	
Prior Sale Date	: 03/13/2012	Prior Sale Price	: \$359,400 Full	Prior Doc#	: 012-014940	
Legal	: SUBDIVISION PAVILION PARK 4294 LT			Market Land	: \$81,342	
	: 60			Mkt Structure	: \$223,340	
Bedrooms: 3	Bath: 2.00	YearBuilt: 2012	BldgSqft: 2,088	Lot Sq Ft:	6,806	Acres: .16

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

51

Owner	: Jenkins Megan E & Andrew R			Parcel #	: 05014841
Site	: 12659 Villard Pl Oregon City 97045			Ref Parcel #	: 32E07BD00900
Mail	: 12659 Villard Pl Oregon City Or 97045			13-14Taxes	: \$3,519.02
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$231,137
MapGrid	: 717 C5			Millage Rate	: 18.1778
Sale Date	: 02/13/2008	Sales Price	: \$272,125	Doc #	: 008-009793
Prior Sale Date	: 01/25/2007	Prior Sale Price	: \$250,000	Prior Doc#	: 007-007454
Legal	: SUBDIVISION RIAN PARK 4054 LT 9			Market Land	: \$69,307
				Mkt Structure	: \$161,830
Bedrooms: 3	Bath: 2.50	YearBuilt: 2007	BldgSqft: 1,859	Lot Sq Ft: 3,380	Acres: .08

52

Owner	: Johnson Ashley A			Parcel #	: 05022902
Site	: 12674 Anita Pl Oregon City 97045			Ref Parcel #	: 32E07BD03853
Mail	: 12674 Anita Pl Oregon City Or 97045			13-14Taxes	: \$3,667.80
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$242,547
MapGrid	: 717 B5			Millage Rate	: 18.1778
Sale Date	: 11/15/2011	Sales Price	: \$225,900 Full	Doc #	: 011-065789
Prior Sale Date	:	Prior Sale Price	:	Prior Doc#	:
Legal	: SUBDIVISION PAVILION PARK 4294 LT			Market Land	: \$69,307
	: 53			Mkt Structure	: \$173,240
Bedrooms: 3	Bath: 2.50	YearBuilt: 2011	BldgSqft: 2,016	Lot Sq Ft: 3,456	Acres: .08

53

Owner	: Johnson Patrick R			Parcel #	: 05022901
Site	: 12668 Anita Pl Oregon City 97045			Ref Parcel #	: 32E07BD03852
Mail	: 12668 Anita Pl Oregon City Or 97045			13-14Taxes	: \$3,639.41
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$240,607
MapGrid	: 717 B5			Millage Rate	: 18.1778
Sale Date	: 10/14/2011	Sales Price	: \$213,250 Full	Doc #	: 011-058815
Prior Sale Date	:	Prior Sale Price	:	Prior Doc#	:
Legal	: SUBDIVISION PAVILION PARK 4294 LT			Market Land	: \$69,307
	: 52			Mkt Structure	: \$171,300
Bedrooms: 3	Bath: 2.50	YearBuilt: 2011	BldgSqft: 1,960	Lot Sq Ft: 3,485	Acres: .08

54

Owner	: Karpal Mary Ann			Parcel #	: 05014857
Site	: 12680 Ross St Oregon City 97045			Ref Parcel #	: 32E07BD02500
Mail	: 12680 Ross St Oregon City Or 97045			13-14Taxes	: \$3,630.87
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$230,297
MapGrid	: 717 C5			Millage Rate	: 18.1778
Sale Date	: 02/23/2007	Sales Price	: \$300,875	Doc #	: 007-015598
Prior Sale Date	:	Prior Sale Price	:	Prior Doc#	:
Legal	: SUBDIVISION RIAN PARK 4054 LT 25			Market Land	: \$69,307
				Mkt Structure	: \$160,990
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 2,008	Lot Sq Ft: 3,351	Acres: .08

55

Owner	: Kasubuchi Kenneth			Parcel #	: 05014846
Site	: 12672 Villard Pl Oregon City 97045			Ref Parcel #	: 32E07BD01400
Mail	: 12672 Villard Pl Oregon City Or 97045			13-14Taxes	: \$3,628.40
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$229,427
MapGrid	: 717 C5			Millage Rate	: 18.1778
Sale Date	: 10/10/2007	Sales Price	: \$302,900	Doc #	: 007-087762
Prior Sale Date	: 08/14/2006	Prior Sale Price	: \$1,000,000	Prior Doc#	: 006-076032
Legal	: SUBDIVISION RIAN PARK 4054 LT 14			Market Land	: \$69,307
				Mkt Structure	: \$160,120
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 1,946	Lot Sq Ft: 3,845	Acres: .09

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

56

Owner	: Kingrey Cynthia	Parcel #	: 05014856		
Site	: 12679 Ross St Oregon City 97045	Ref Parcel #	: 32E07BD02400		
Mail	: 12679 Ross St Oregon City Or 97045	13-14Taxes	: \$3,602.28		
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$237,287		
MapGrid	: 717 C5	Millage Rate	: 18.1778		
Sale Date	:	Doc #	:		
Prior Sale Date	:	Prior Doc#	:		
Legal	: SUBDIVISION RIAN PARK 4054 LT 24	Market Land	: \$69,307		
:	:	Mkt Structure	: \$167,980		
Bedrooms: 3	Bath: 2.50	YearBuilt: 2007	BldgSqft: 1,864	Lot Sq Ft: 3,948	Acres: .09

57

Owner	: Kleser Tyler W	Parcel #	: 05022900		
Site	: 12662 Anita Pl Oregon City 97045	Ref Parcel #	: 32E07BD03851		
Mail	: 12662 Anita Pl Oregon City Or 97045	13-14Taxes	: \$3,468.49		
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$227,797		
MapGrid	: 717 B5	Millage Rate	: 18.1778		
Sale Date	: 07/27/2012	Sales Price	: \$211,900		
Prior Sale Date	: 03/01/2010	Prior Sale Price	: \$319,600		
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Prior Doc#	: 010-019472		
:	: 51	Market Land	: \$69,307		
:	:	Mkt Structure	: \$158,490		
Bedrooms: 3	Bath: 2.50	YearBuilt: 2010	BldgSqft: 1,629	Lot Sq Ft: 3,485	Acres: .08

58

Owner	: Kreitzberg Ryan J/Amanda M	Parcel #	: 05022910		
Site	: 12761 Anita Pl Oregon City 97045	Ref Parcel #	: 32E07BD03861		
Mail	: 18606 NE Russell St Portland Or 97220	13-14Taxes	: \$1,269.25		
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$74,901		
MapGrid	: 717 B5	Millage Rate	: 18.1778		
Sale Date	: 03/17/2014	Sales Price	: \$335,978		
Prior Sale Date	: 09/14/2011	Prior Sale Price	: \$275,000 Full		
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Prior Doc#	: 011-052146		
:	: 61	Market Land	: \$73,871		
:	:	Mkt Structure	: \$1,030		
Bedrooms: 2	Bath: 1.00	YearBuilt: 1910	BldgSqft: 836	Lot Sq Ft: 7,478	Acres: .17

59

Owner	: Krivolenkov Aleksandr P	Parcel #	: 05014864		
Site	: 19412 Reddaway Ave Oregon City 97045	Ref Parcel #	: 32E07BD03200		
Mail	: 19412 Reddaway Ave Oregon City Or 97045	13-14Taxes	: \$3,676.70		
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$233,777		
MapGrid	: 717 C5	Millage Rate	: 18.1778		
Sale Date	: 08/03/2007	Sales Price	: \$290,000		
Prior Sale Date	:	Doc #	: 007-067886		
Legal	: SUBDIVISION RIAN PARK 4054 LT 32	Prior Doc#	:		
:	:	Market Land	: \$69,307		
:	:	Mkt Structure	: \$164,470		
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 1,946	Lot Sq Ft: 3,383	Acres: .08

60

Owner	: Lausche Charles L & Sandra L	Parcel #	: 01655676		
Site	: 19525 McCord Rd Oregon City 97045	Ref Parcel #	: 32E07C 00791		
Mail	: 19525 McCord Rd Oregon City Or 97045	13-14Taxes	: \$458.68		
Land Use	: 400 Vacant,Tract Land Only	Market Total	: \$46,990		
MapGrid	: 717 B5	Millage Rate	: 14.9468		
Sale Date	:	Doc #	: 74-28427		
Prior Sale Date	:	Prior Doc#	:		
Legal	: SEE SPLIT CODE ACCT 00701	Market Land	: \$46,990		
:	:	Mkt Structure	:		
Bedrooms:	Bath:	YearBuilt: 1974	BldgSqft:	Lot Sq Ft: 53,143	Acres: 1.22

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

61

Owner	: Lausche Charles L & Sandra L	Parcel #	: 00862702		
Site	: 19525 McCord Rd Oregon City 97045	Ref Parcel #	: 32E07C 00701		
Mail	: 19525 McCord Rd Oregon City Or 97045	13-14Taxes	: \$4,074.31		
Land Use	: 401 Tract,Tract Land,Improved	Market Total	: \$332,604		
MapGrid	: 717 B5	Millage Rate	: 14.2270		
Sale Date	:	Doc #	: 74-28427		
Prior Sale Date	:	Prior Doc#	:		
Legal	: SEE SPLIT CODE ACCT 00791	Market Land	: \$172,314		
:	:	Mkt Structure	: \$160,290		
Bedrooms: 4	Bath: 2.00	YearBuilt: 1974	BldgSqft: 2,652	Lot Sq Ft: 164,657	Acres: 3.78

62

Owner	: Lazoff Gary S & Pamella J	Parcel #	: 00862686		
Site	: 19573 McCord Rd Oregon City 97045	Ref Parcel #	: 32E07C 00601		
Mail	: PO Box 1136 Oregon City Or 97045	13-14Taxes	: \$3,479.42		
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$274,608		
MapGrid	: 717 B5	Millage Rate	: 14.9468		
Sale Date	:	Doc #	: 84-28484		
Prior Sale Date	:	Prior Doc#	:		
Legal	: SECTION 07 TOWNSHIP 3S RANGE 2E	Market Land	: \$126,168		
:	: QUARTER C TAX LOT 00601	Mkt Structure	: \$148,440		
Bedrooms: 4	Bath: 2.00	YearBuilt: 1964	BldgSqft: 2,251	Lot Sq Ft: 38,768	Acres: .89

63

Owner	: Lazoff Gary S & Pamella J	Parcel #	: 00862677		
Site	: *no Site Address*	Ref Parcel #	: 32E07C 00600		
Mail	: PO Box 1136 Oregon City Or 97045	13-14Taxes	: \$18.33		
Land Use	: 640 Vacant,Forest Land	Market Total	: \$43,191		
MapGrid	:	Millage Rate	: 14.9468		
Sale Date	: 08/01/1984	Doc #	: 84-28484		
Prior Sale Date	:	Prior Doc#	:		
Legal	: SECTION 07 TOWNSHIP 3S RANGE 2E	Market Land	: \$43,191		
:	: QUARTER C TAX LOT 00600	Mkt Structure	:		
Bedrooms:	Bath:	YearBuilt:	BldgSqft:	Lot Sq Ft: 132,858	Acres: 3.05

64

Owner	: Lewis Michael	Parcel #	: 05014861		
Site	: 12656 Ross St Oregon City 97045	Ref Parcel #	: 32E07BD02900		
Mail	: 12656 Ross St Oregon City Or 97045	13-14Taxes	: \$3,631.21		
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$230,577		
MapGrid	: 717 C5	Millage Rate	: 18.1778		
Sale Date	: 07/01/2008	Doc #	: 008-047696		
Prior Sale Date	: 02/21/2007	Prior Doc#	: 007-015027		
Legal	: SUBDIVISION RIAN PARK 4054 LT 29	Market Land	: \$69,307		
:	:	Mkt Structure	: \$161,270		
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 2,008	Lot Sq Ft: 3,351	Acres: .08

65

Owner	: Lopez Gabriel & Amalia	Parcel #	: 05014868		
Site	: 19533 Leland Rd Oregon City 97045	Ref Parcel #	: 32E07BD03600		
Mail	: 19533 Leland Rd Oregon City Or 97045	13-14Taxes	: \$3,561.77		
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$226,177		
MapGrid	: 717 C5	Millage Rate	: 18.1778		
Sale Date	: 07/09/2007	Doc #	: 007-059831		
Prior Sale Date	:	Prior Doc#	:		
Legal	: SUBDIVISION RIAN PARK 4054 LT 36	Market Land	: \$69,307		
:	:	Mkt Structure	: \$156,870		
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 1,871	Lot Sq Ft: 4,339	Acres: .10

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

66

Owner	: Lunas Larry Jay & Elise M	Parcel #	: 00862659
Site	: 19585 McCord Rd Oregon City 97045	Ref Parcel #	: 32E07C 00500
Mail	: 19585 McCord Rd Oregon City Or 97045	13-14Taxes	: \$1,548.01
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$138,658
MapGrid	: 717 B5	Millage Rate	: 14.9468
Sale Date	:	Doc #	: 0079-38023
Prior Sale Date	:	Prior Doc#	:
Legal	: SECTION 07 TOWNSHIP 3S RANGE 2E	Market Land	: \$104,068
	: QUARTER C TAX LOT 00500	Mkt Structure	: \$34,590
Bedrooms: 3	Bath: 1.00	YearBuilt: 1900	BldgSqft: 1,316
		Lot Sq Ft: 20,038	Acres: .46

67

Owner	: Magnuson Steven M	Parcel #	: 05022920
Site	: 12681 Anita Pl Oregon City 97045	Ref Parcel #	: 32E07BD03871
Mail	: 12681 Anita Pl Oregon City Or 97045	13-14Taxes	: \$1,062.16
Land Use	: 100 Vacant,Residential Land	Market Total	: \$63,911
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 09/10/2013	Doc #	: 013-064251
Prior Sale Date	: 09/14/2011	Prior Doc#	: 011-052146
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Market Land	: \$63,911
	: 71	Mkt Structure	:
Bedrooms:	Bath:	YearBuilt:	BldgSqft:
		Lot Sq Ft: 6,150	Acres: .14

68

Owner	: McKinney Joseph C & Gloria J	Parcel #	: 00862971
Site	: 19558 Leland Rd Oregon City 97045	Ref Parcel #	: 32E07DC00100
Mail	: 19558 Leland Rd Oregon City Or 97045	13-14Taxes	: \$2,768.98
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$169,455
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	:	Doc #	: 71-09558
Prior Sale Date	:	Prior Doc#	:
Legal	: 1363 KALAL SUBDIV LT 1	Market Land	: \$88,335
	:	Mkt Structure	: \$81,120
Bedrooms: 3	Bath: 1.00	YearBuilt: 1971	BldgSqft: 1,247
		Lot Sq Ft: 20,104	Acres: .46

69

Owner	: Mead James & Lindsay	Parcel #	: 05014847
Site	: 12664 Villard Pl Oregon City 97045	Ref Parcel #	: 32E07BD01500
Mail	: 12664 Villard Pl Oregon City Or 97045	13-14Taxes	: \$3,635.88
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$230,637
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 06/07/2007	Doc #	: 007-049848
Prior Sale Date	:	Prior Doc#	:
Legal	: SUBDIVISION RIAN PARK 4054 LT 15	Market Land	: \$69,307
	:	Mkt Structure	: \$161,330
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 2,008
		Lot Sq Ft: 3,385	Acres: .08

70

Owner	: Moore Carol Sharkey	Parcel #	: 05022888
Site	: 12691 Joseph Way Oregon City 97045	Ref Parcel #	: 32E07BD03839
Mail	: 12691 Joseph Way Oregon City Or 97045	13-14Taxes	: \$1,991.93
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$121,162
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 04/08/2013	Doc #	: 013-023847
Prior Sale Date	: 03/29/2013	Prior Doc#	: 013-021777
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Market Land	: \$81,342
	: 39	Mkt Structure	: \$39,820
Bedrooms: 3	Bath: 2.00	YearBuilt: 2012	BldgSqft: 1,682
		Lot Sq Ft: 6,505	Acres: .15

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

# 71						
Owner	: Moore Thomas L/Noel D			Parcel #	: 05022917	
Site	: 12705 Anita Pl Oregon City 97045			Ref Parcel #	: 32E07BD03868	
Mail	: 265 Atlantic Dr Rio Vista Ca 94571			13-14Taxes	: \$1,062.16	
Land Use	: 100 Vacant,Residential Land			Market Total	: \$63,911	
MapGrid	: 717 B5			Millage Rate	: 18.1778	
Sale Date	: 08/05/2013	Sales Price	: \$352,900	Doc #	: 013-055320	
Prior Sale Date	: 09/14/2011	Prior Sale Price	: \$275,000 Full	Prior Doc#	: 011-052146	
Legal	: SUBDIVISION PAVILION PARK 4294 LT			Market Land	: \$63,911	
	: 68			Mkt Structure	:	
Bedrooms:	Bath:	YearBuilt:	BldgSqft:	Lot Sq Ft:	6,756	Acres: .16
# 72						
Owner	: Neils Daniel E & Lee A			Parcel #	: 00862524	
Site	: 19652 McCord Rd Oregon City 97045			Ref Parcel #	: 32E07B 04107	
Mail	: 19652 McCord Rd Oregon City Or 97045			13-14Taxes	: \$3,170.61	
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$244,263	
MapGrid	: 717 B5			Millage Rate	: 14.9468	
Sale Date	: 03/28/2005	Sales Price	: \$264,000	Doc #	: 005-027994	
Prior Sale Date	:	Prior Sale Price	:	Prior Doc#	:	
Legal	: SECTION 07 TOWNSHIP 3S RANGE 2E			Market Land	: \$98,023	
	: QUARTER B TAX LOT 04107			Mkt Structure	: \$146,240	
Bedrooms: 4	Bath: 2.00	YearBuilt: 1966	BldgSqft: 2,422	Lot Sq Ft:	16,988	Acres: .39
# 73						
Owner	: Nepotchatov Sergei N			Parcel #	: 05014835	
Site	: 12664 Joseph Way Oregon City 97045			Ref Parcel #	: 32E07BD00300	
Mail	: 12664 Joseph Way Oregon City Or 97045			13-14Taxes	: \$3,513.41	
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$231,207	
MapGrid	: 717 B5			Millage Rate	: 18.1778	
Sale Date	: 04/28/2008	Sales Price	: \$280,000 Full	Doc #	: 008-030663	
Prior Sale Date	: 03/05/2007	Prior Sale Price	: \$375,000	Prior Doc#	: 007-019485	
Legal	: SUBDIVISION RIAN PARK 4054 LT 3			Market Land	: \$69,307	
	:			Mkt Structure	: \$161,900	
Bedrooms: 3	Bath: 2.50	YearBuilt: 2007	BldgSqft: 1,859	Lot Sq Ft:	3,371	Acres: .08
# 74						
Owner	: Niemi Patrick A & Gail A			Parcel #	: 00862695	
Site	: 19521 McCord Rd Oregon City 97045			Ref Parcel #	: 32E07C 00700	
Mail	: 19521 McCord Rd Oregon City Or 97045			13-14Taxes	: \$855.63	
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$98,930	
MapGrid	: 717 B5			Millage Rate	: 14.2270	
Sale Date	: 02/05/2001	Sales Price	: \$173,000	Doc #	: 01-007586	
Prior Sale Date	:	Prior Sale Price	:	Prior Doc#	:	
Legal	: SEE SPLIT CODE ACCT 00790			Market Land	: \$98,930	
	:			Mkt Structure	:	
Bedrooms:	Bath:	YearBuilt:	BldgSqft:	Lot Sq Ft:	72,745	Acres: 1.67
# 75						
Owner	: Oneill Kymerly			Parcel #	: 05014863	
Site	: 12644 Ross St Oregon City 97045			Ref Parcel #	: 32E07BD03100	
Mail	: 12644 Ross St Oregon City Or 97045			13-14Taxes	: \$3,726.92	
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$236,277	
MapGrid	: 717 C5			Millage Rate	: 18.1778	
Sale Date	: 02/15/2007	Sales Price	: \$313,900	Doc #	: 007-013469	
Prior Sale Date	:	Prior Sale Price	:	Prior Doc#	:	
Legal	: SUBDIVISION RIAN PARK 4054 LT 31			Market Land	: \$69,307	
	:			Mkt Structure	: \$166,970	
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 2,015	Lot Sq Ft:	3,753	Acres: .09

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

76

Owner	: Park Sarah S	Parcel #	: 05022891
Site	: 12669 Joseph Way Oregon City 97045	Ref Parcel #	: 32E07BD03842
Mail	: 12669 Joseph Way Oregon City Or 97045	13-14Taxes	: \$3,428.31
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$225,877
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 08/22/2011	Sales Price	: \$215,000 Full
Prior Sale Date	:	Prior Sale Price	:
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 011-047705
	: 42	Prior Doc#	:
		Market Land	: \$69,307
		Mkt Structure	: \$156,570
Bedrooms: 3	Bath: 2.50	YearBuilt: 2011	BldgSqft: 1,631
		Lot Sq Ft: 3,483	Acres: .08

77

Owner	: Peltz Libbi L	Parcel #	: 05022908
Site	: 12736 Anita Pl Oregon City 97045	Ref Parcel #	: 32E07BD03859
Mail	: PO Box 1148 Mulino Or 97042	13-14Taxes	: \$4,020.44
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$265,032
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 12/09/2011	Sales Price	: \$244,900 Full
Prior Sale Date	: 09/14/2011	Prior Sale Price	: \$275,000 Full
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 011-071242
	: 59	Prior Doc#	: 011-052146
		Market Land	: \$81,342
		Mkt Structure	: \$183,690
Bedrooms: 3	Bath: 2.50	YearBuilt: 2011	BldgSqft: 2,022
		Lot Sq Ft: 6,760	Acres: .16

78

Owner	: Peters Jonathan	Parcel #	: 00862999
Site	: 19582 Leland Rd Oregon City 97045	Ref Parcel #	: 32E07DC00300
Mail	: PO Box 3168 Oregon City Or 97045	13-14Taxes	: \$2,730.95
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$219,308
MapGrid	: 717 C5	Millage Rate	: 14.9468
Sale Date	: 10/27/2004	Sales Price	:
Prior Sale Date	: 02/06/2004	Prior Sale Price	: \$138,883
Legal	: 1363 KALAL SUBDIV LT 3	Doc #	: 004-098934
	:	Prior Doc#	: 004-009403
		Market Land	: \$104,068
		Mkt Structure	: \$115,240
Bedrooms: 2	Bath: 1.00	YearBuilt: 1970	BldgSqft: 1,291
		Lot Sq Ft: 20,017	Acres: .46

79

Owner	: Phillips Alexander	Parcel #	: 05022907
Site	: 19342 Pelican Lake Pl Oregon City 97045	Ref Parcel #	: 32E07BD03858
Mail	: 19342 Pelican Lake Pl Oregon City Or 97045	13-14Taxes	: \$4,427.93
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$287,252
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 04/20/2012	Sales Price	: \$270,500 Full
Prior Sale Date	: 09/14/2011	Prior Sale Price	: \$275,000 Full
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 012-024285
	: 58	Prior Doc#	: 011-052146
		Market Land	: \$81,342
		Mkt Structure	: \$205,910
Bedrooms: 4	Bath: 2.50	YearBuilt: 2011	BldgSqft: 2,536
		Lot Sq Ft: 6,700	Acres: .15

80

Owner	: Quinn Candace D	Parcel #	: 05022918
Site	: 12697 Anita Pl Oregon City 97045	Ref Parcel #	: 32E07BD03869
Mail	: 12697 Anita Pl Oregon City Or 97045	13-14Taxes	: \$4,066.04
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$268,212
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	:	Sales Price	:
Prior Sale Date	:	Prior Sale Price	:
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	:
	: 69	Prior Doc#	:
		Market Land	: \$81,342
		Mkt Structure	: \$186,870
Bedrooms: 3	Bath: 2.00	YearBuilt: 2011	BldgSqft: 1,676
		Lot Sq Ft: 6,688	Acres: .15

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

81

Owner	: Schwarzkopf Eric K & Kathleen M	Parcel #	: 05022892
Site	: 12663 Joseph Way Oregon City 97045	Ref Parcel #	: 32E07BD03843
Mail	: 12663 Joseph Way Oregon City Or 97045	13-14Taxes	: \$3,669.49
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$242,687
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 10/26/2011	Sales Price	: \$223,900 Full
Prior Sale Date	:	Doc #	: 011-061361
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Prior Doc#	:
	: 43	Market Land	: \$69,307
		Mkt Structure	: \$173,380
Bedrooms: 3	Bath: 2.50	YearBuilt: 2011	BldgSqft: 2,016
		Lot Sq Ft: 3,483	Acres: .08

82

Owner	: Smith Leigh N	Parcel #	: 00862668
Site	: 19593 McCord Rd Oregon City 97045	Ref Parcel #	: 32E07C 00501
Mail	: 19593 McCord Rd Oregon City Or 97045	13-14Taxes	: \$3,048.07
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$233,038
MapGrid	: 717 B5	Millage Rate	: 14.9468
Sale Date	: 12/09/2005	Sales Price	:
Prior Sale Date	: 04/28/2005	Prior Sale Price	: \$177,950
Legal	: SECTION 07 TOWNSHIP 3S RANGE 2E	Prior Doc#	: 005-037925
	: QUARTER C TAX LOT 00501	Market Land	: \$104,068
		Mkt Structure	: \$128,970
Bedrooms: 3	Bath: 2.50	YearBuilt: 1979	BldgSqft: 2,076
		Lot Sq Ft: 20,038	Acres: .46

83

Owner	: Streight Wayne E & Patsy R	Parcel #	: 00862533
Site	: 19673 Leland Rd Oregon City 97045	Ref Parcel #	: 32E07C 00100
Mail	: 19673 Leland Rd Oregon City Or 97045	13-14Taxes	: \$3,029.08
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$240,611
MapGrid	: 717 C5	Millage Rate	: 14.9468
Sale Date	:	Sales Price	:
Prior Sale Date	:	Prior Sale Price	:
Legal	: SECTION 07 TOWNSHIP 3S RANGE 2E	Prior Doc#	:
	: QUARTER C TAX LOT 00100	Market Land	: \$136,051
		Mkt Structure	: \$104,560
Bedrooms: 3	Bath: 2.00	YearBuilt: 1900	BldgSqft: 1,824
		Lot Sq Ft: 56,628	Acres: 1.30

84

Owner	: Strong Scott R	Parcel #	: 05022898
Site	: 12650 Anita Pl Oregon City 97045	Ref Parcel #	: 32E07BD03849
Mail	: 12650 Anita Pl Oregon City Or 97045	13-14Taxes	: \$3,455.18
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$226,897
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 03/02/2011	Sales Price	: \$215,000 Full
Prior Sale Date	: 03/01/2010	Doc #	: 011-014274
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Prior Doc#	: 010-019472
	: 49	Market Land	: \$69,307
		Mkt Structure	: \$157,590
Bedrooms: 3	Bath: 2.50	YearBuilt: 2010	BldgSqft: 1,649
		Lot Sq Ft: 3,485	Acres: .08

85

Owner	: Suppressed Name	Parcel #	: 05014860
Site	: 12662 Ross St Oregon City 97045	Ref Parcel #	: 32E07BD02800
Mail	: 12662 Ross St Oregon City Or 97045	13-14Taxes	: \$3,624.33
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$229,407
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 11/06/2007	Sales Price	:
Prior Sale Date	: 05/01/2007	Doc #	: 007-095143
Legal	: SUBDIVISION RIAN PARK 4054 LT 28	Prior Doc#	: 007-037436
	:	Market Land	: \$69,307
		Mkt Structure	: \$160,100
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 1,951
		Lot Sq Ft: 3,351	Acres: .08

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

86

Owner	: Swanson Amy S	Parcel #	: 05014862
Site	: 12650 Ross St Oregon City 97045	Ref Parcel #	: 32E07BD03000
Mail	: 12650 Ross St Oregon City Or 97045	13-14Taxes	: \$3,707.02
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$234,987
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 06/28/2007	Sales Price	: \$298,500
Prior Sale Date	:	Doc #	: 007-056741
Legal	: SUBDIVISION RIAN PARK 4054 LT 30	Prior Doc#	:
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$165,680
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 1,972
		Lot Sq Ft: 3,351	Acres: .08

87

Owner	: Swiski John & Laurie	Parcel #	: 05014850
Site	: 12648 Villard Pl Oregon City 97045	Ref Parcel #	: 32E07BD01800
Mail	: 2520 Beacon Hill Dr West Linn Or 97068	13-14Taxes	: \$3,558.91
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$225,777
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 10/22/2007	Sales Price	: \$279,900
Prior Sale Date	:	Doc #	: 07-094249
Legal	: SUBDIVISION RIAN PARK 4054 LT 18	Prior Doc#	:
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$156,470
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 1,876
		Lot Sq Ft: 4,176	Acres: .10

88

Owner	: Thompson Charles T Co-Trustee	Parcel #	: 05014854
Site	: 12667 Ross St Oregon City 97045	Ref Parcel #	: 32E07BD02200
Mail	: 61637 Tam McArthur Loop Bend Or 97702	13-14Taxes	: \$3,569.52
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$235,037
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 01/29/2010	Sales Price	: \$255,000 Full
Prior Sale Date	: 02/05/2007	Doc #	: 010-006423
Legal	: SUBDIVISION RIAN PARK 4054 LT 22	Prior Doc#	: 007-010669
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$165,730
Bedrooms: 3	Bath: 2.50	YearBuilt: 2007	BldgSqft: 1,951
		Lot Sq Ft: 3,475	Acres: .08

89

Owner	: Tidwell Steven M	Parcel #	: 00862980
Site	: 19570 Leland Rd Oregon City 97045	Ref Parcel #	: 32E07DC00200
Mail	: 19570 Leland Rd Oregon City Or 97045	13-14Taxes	: \$2,272.53
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$186,988
MapGrid	: 717 C5	Millage Rate	: 14.9468
Sale Date	: 09/21/1994	Sales Price	: \$88,825
Prior Sale Date	:	Doc #	: 0094-74287
Legal	: 1363 KALAL SUBDIV LT 2	Prior Doc#	:
:	:	Market Land	: \$104,068
:	:	Mkt Structure	: \$82,920
Bedrooms: 3	Bath: 1.00	YearBuilt: 1971	BldgSqft: 1,353
		Lot Sq Ft: 20,118	Acres: .46

90

Owner	: Tierney Cynthia	Parcel #	: 05022889
Site	: 12683 Joseph Way Oregon City 97045	Ref Parcel #	: 32E07BD03840
Mail	: 12683 Joseph Way Oregon City Or 97045	13-14Taxes	: \$4,041.89
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$266,542
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 11/15/2011	Sales Price	: \$250,000 Full
Prior Sale Date	: 09/14/2011	Doc #	: 011-065872
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Prior Doc#	: 011-052146
:	: 40	Market Land	: \$81,342
:	:	Mkt Structure	: \$185,200
Bedrooms: 3	Bath: 2.00	YearBuilt: 2011	BldgSqft: 1,676
		Lot Sq Ft: 6,138	Acres: .14

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

91

Owner	: Valasek Richard R	Parcel #	: 05022896
Site	: 19296 Reddaway Ave Oregon City 97045	Ref Parcel #	: 32E07BD03847
Mail	: 19296 Reddaway Ave Oregon City Or 97045	13-14Taxes	: \$3,129.49
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$224,237
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 01/12/2011	Sales Price	: \$210,000 Full
Prior Sale Date	: 03/01/2010	Prior Sale Price	: \$319,600
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 011-003096
	: 47	Prior Doc#	: 010-019472
		Market Land	: \$69,307
		Mkt Structure	: \$154,930
Bedrooms: 3	Bath: 2.00	YearBuilt: 2010	BldgSqft: 1,350
		Lot Sq Ft: 4,509	Acres: .10

92

Owner	: Vo Buoi & Diana Cao	Parcel #	: 05014833
Site	: 12676 Joseph Way Oregon City 97045	Ref Parcel #	: 32E07BD00100
Mail	: 12676 Joseph Way Oregon City Or 97045	13-14Taxes	: \$3,564.27
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$234,707
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 01/31/2008	Sales Price	: \$275,000
Prior Sale Date	: 02/05/2007	Prior Sale Price	: \$500,000
Legal	: SUBDIVISION RIAN PARK 4054 LT 1	Doc #	: 008-006951
	:	Prior Doc#	: 007-010669
		Market Land	: \$69,307
		Mkt Structure	: \$165,400
Bedrooms: 3	Bath: 2.50	YearBuilt: 2007	BldgSqft: 1,951
		Lot Sq Ft: 3,371	Acres: .08

93

Owner	: Wallace Richard Wayne & Kathi Jean	Parcel #	: 00862481
Site	: *no Site Address*	Ref Parcel #	: 32E07B 04102
Mail	: 19656 McCord Rd Oregon City Or 97045	13-14Taxes	: \$1,112.60
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$109,682
MapGrid	:	Millage Rate	: 14.9468
Sale Date	: 09/01/1988	Sales Price	: \$15,000
Prior Sale Date	:	Doc #	: 88-36796
Legal	: SECTION 07 TOWNSHIP 3S RANGE 2E	Prior Doc#	:
	: QUARTER B TAX LOT 04102	Market Land	: \$98,302
		Mkt Structure	: \$11,380
Bedrooms:	Bath:	YearBuilt:	BldgSqft:
		Lot Sq Ft: 23,522	Acres: .54

94

Owner	: Warren Christina L	Parcel #	: 05014848
Site	: 12660 Villard Pl Oregon City 97045	Ref Parcel #	: 32E07BD01600
Mail	: 12660 Villard Pl Oregon City Or 97045	13-14Taxes	: \$3,694.47
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$230,617
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	:	Sales Price	:
Prior Sale Date	:	Doc #	:
Legal	: SUBDIVISION RIAN PARK 4054 LT 16	Prior Doc#	:
	:	Market Land	: \$69,307
		Mkt Structure	: \$161,310
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 1,972
		Lot Sq Ft: 3,385	Acres: .08

95

Owner	: Webb Kali M	Parcel #	: 05022913
Site	: 12737 Anita Pl Oregon City 97045	Ref Parcel #	: 32E07BD03864
Mail	: 12737 Anita Pl Oregon City Or 97045	13-14Taxes	: \$1,062.16
Land Use	: 100 Vacant,Residential Land	Market Total	: \$63,911
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 08/28/2013	Sales Price	: \$339,900
Prior Sale Date	: 09/14/2011	Prior Sale Price	: \$275,000 Full
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 013-061784
	: 64	Prior Doc#	: 011-052146
		Market Land	: \$63,911
		Mkt Structure	:
Bedrooms:	Bath:	YearBuilt:	BldgSqft:
		Lot Sq Ft: 6,611	Acres: .15

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

96

Owner	: Weigel Bryce R & Megan D	Parcel #	: 05014858
Site	: 12674 Ross St Oregon City 97045	Ref Parcel #	: 32E07BD02600
Mail	: 12674 Ross St Oregon City Or 97045	13-14Taxes	: \$3,566.23
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$226,387
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 06/25/2009	Sales Price	: \$248,000 Full
Prior Sale Date	: 07/02/2007	Prior Sale Price	: \$300,950
Legal	: SUBDIVISION RIAN PARK 4054 LT 26	Doc #	: 009-045235
:	:	Prior Doc#	: 007-057816
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$157,080
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 1,871
		Lot Sq Ft: 3,351	Acres: .08

97

Owner	: Westphal Christina	Parcel #	: 00863006
Site	: 19592 Leland Rd Oregon City 97045	Ref Parcel #	: 32E07DC00400
Mail	: 19592 Leland Rd Oregon City Or 97045	13-14Taxes	: \$2,191.42
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$177,778
MapGrid	: 717 C5	Millage Rate	: 14.9468
Sale Date	: 02/28/2006	Sales Price	:
Prior Sale Date	: 07/08/2004	Prior Sale Price	: \$165,850
Legal	: 1363 KALAL SUBDIV LT 4	Doc #	: 006-018086
:	:	Prior Doc#	: 004-063649
:	:	Market Land	: \$104,068
:	:	Mkt Structure	: \$73,710
Bedrooms: 3	Bath: 1.00	YearBuilt: 1971	BldgSqft: 1,112
		Lot Sq Ft: 20,146	Acres: .46

98

Owner	: Whiteley Douglas W & Monica N	Parcel #	: 05014855
Site	: 12673 Ross St Oregon City 97045	Ref Parcel #	: 32E07BD02300
Mail	: 12673 Ross St Oregon City Or 97045	13-14Taxes	: \$3,593.97
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$236,937
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 07/05/2007	Sales Price	: \$324,500
Prior Sale Date	:	Prior Sale Price	:
Legal	: SUBDIVISION RIAN PARK 4054 LT 23	Doc #	: 007-059000
:	:	Prior Doc#	:
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$167,630
Bedrooms: 3	Bath: 2.50	YearBuilt: 2007	BldgSqft: 2,053
		Lot Sq Ft: 3,948	Acres: .09

99

Owner	: Williams Troy	Parcel #	: 05014836
Site	: 12658 Joseph Way Oregon City 97045	Ref Parcel #	: 32E07BD00400
Mail	: 12658 Joseph Way Oregon City Or 97045	13-14Taxes	: \$3,566.25
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$234,837
MapGrid	: 717 B5	Millage Rate	: 18.1778
Sale Date	: 11/27/2007	Sales Price	: \$295,000
Prior Sale Date	: 03/05/2007	Prior Sale Price	: \$375,000
Legal	: SUBDIVISION RIAN PARK 4054 LT 4	Doc #	: 007-099492
:	:	Prior Doc#	: 007-019485
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$165,530
Bedrooms: 3	Bath: 2.50	YearBuilt: 2007	BldgSqft: 1,988
		Lot Sq Ft: 3,371	Acres: .08

100

Owner	: Wilson Bridget A	Parcel #	: 05022894
Site	: 12651 Joseph Way Oregon City 97045	Ref Parcel #	: 32E07BD03845
Mail	: 12651 Joseph Way Oregon City Or 97045	13-14Taxes	: \$3,414.50
Land Use	: 101 Res,Residential Land,Improved	Market Total	: \$224,087
MapGrid	: 717 C5	Millage Rate	: 18.1778
Sale Date	: 09/12/2012	Sales Price	: \$209,000
Prior Sale Date	: 03/29/2011	Prior Sale Price	: \$209,900 Full
Legal	: SUBDIVISION PAVILION PARK 4294 LT	Doc #	: 012-058935
:	: 45	Prior Doc#	: 011-019296
:	:	Market Land	: \$69,307
:	:	Mkt Structure	: \$154,780
Bedrooms: 3	Bath: 2.50	YearBuilt: 2010	BldgSqft: 1,717
		Lot Sq Ft: 3,483	Acres: .08

WFG NATIONAL TITLE: FARM REPORT / Clackamas (OR)

# 101						
Owner	: Wilson Sheila K			Parcel #	: 05022914	
Site	: 12729 Anita Pl Oregon City 97045			Ref Parcel #	: 32E07BD03865	
Mail	: 12729 Anita Pl Oregon City Or 97045			13-14Taxes	: \$1,062.16	
Land Use	: 100 Vacant,Residential Land			Market Total	: \$63,911	
MapGrid	: 717 B5			Millage Rate	: 18.1778	
Sale Date	: 09/27/2013	Sales Price	: \$329,900	Doc #	: 013-068060	
Prior Sale Date	: 09/14/2011	Prior Sale Price	: \$275,000 Full	Prior Doc#	: 011-052146	
Legal	: SUBDIVISION PAVILION PARK 4294 LT			Market Land	: \$63,911	
	: 65			Mkt Structure	:	
Bedrooms:	Bath:	YearBuilt:	BldgSqft:	Lot Sq Ft:	6,020	Acres: .14
# 102						
Owner	: Wright Albert & Kreta			Parcel #	: 05022919	
Site	: 12689 Anita Pl Oregon City 97045			Ref Parcel #	: 32E07BD03870	
Mail	: 12689 Anita Pl Oregon City Or 97045			13-14Taxes	: \$1,101.15	
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$64,981	
MapGrid	: 717 B5			Millage Rate	: 18.1778	
Sale Date	: 06/18/2013	Sales Price	: \$355,000	Doc #	: 013-042296	
Prior Sale Date	: 09/14/2011	Prior Sale Price	: \$275,000 Full	Prior Doc#	: 011-052146	
Legal	: SUBDIVISION PAVILION PARK 4294 LT			Market Land	: \$63,911	
	: 70			Mkt Structure	: \$1,070	
Bedrooms:	Bath:	YearBuilt:	BldgSqft:	Lot Sq Ft:	6,142	Acres: .14
# 103						
Owner	: Zahlmann Trevor J & Mary R			Parcel #	: 05022916	
Site	: 12713 Anita Pl Oregon City 97045			Ref Parcel #	: 32E07BD03867	
Mail	: 12713 Anita Pl Oregon City Or 97045			13-14Taxes	: \$4,724.49	
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$289,422	
MapGrid	: 717 B5			Millage Rate	: 18.1778	
Sale Date	: 12/20/2012	Sales Price	: \$294,255	Doc #	: 012-084108	
Prior Sale Date	: 09/14/2011	Prior Sale Price	: \$275,000 Full	Prior Doc#	: 011-052146	
Legal	: SUBDIVISION PAVILION PARK 4294 LT			Market Land	: \$81,342	
	: 67			Mkt Structure	: \$208,080	
Bedrooms: 4	Bath: 2.50	YearBuilt: 2012	BldgSqft: 2,604	Lot Sq Ft:	6,011	Acres: .14
# 104						
Owner	: Zenoniani Marc A			Parcel #	: 05014866	
Site	: 19521 Leland Rd Oregon City 97045			Ref Parcel #	: 32E07BD03400	
Mail	: 19521 Leland Rd Oregon City Or 97045			13-14Taxes	: \$3,585.07	
Land Use	: 101 Res,Residential Land,Improved			Market Total	: \$230,637	
MapGrid	: 717 C5			Millage Rate	: 18.1778	
Sale Date	: 11/27/2007	Sales Price	: \$276,900	Doc #	: 007-099436	
Prior Sale Date	: 08/14/2006	Prior Sale Price	: \$1,500,000	Prior Doc#	: 006-076034	
Legal	: SUBDIVISION RIAN PARK 4054 LT 34			Market Land	: \$69,307	
	:			Mkt Structure	: \$161,330	
Bedrooms: 3	Bath: 2.50	YearBuilt: 2006	BldgSqft: 1,876	Lot Sq Ft:	4,362	Acres: .10



COUNTY ASSESSOR'S QUARTER-SECTION MAP

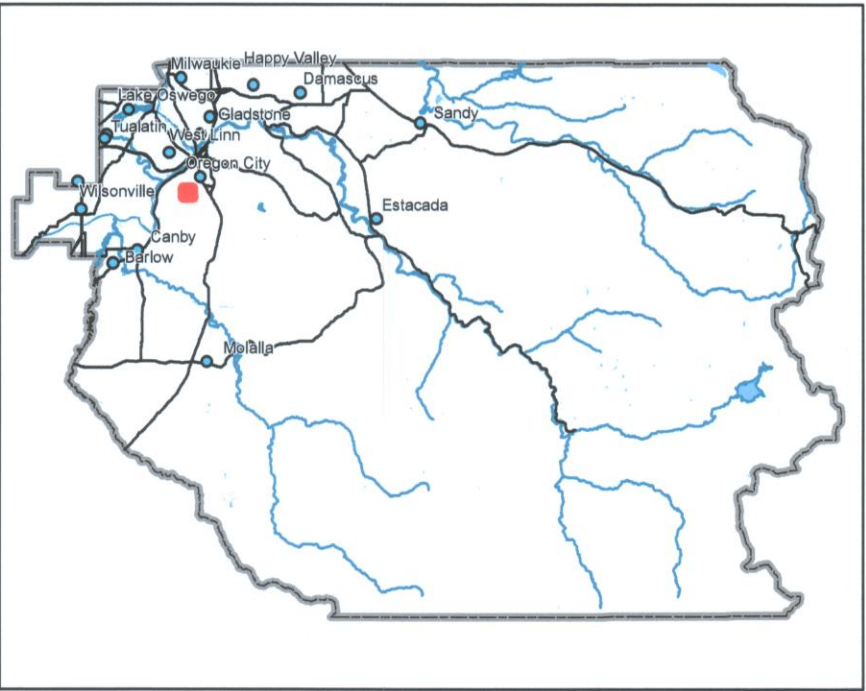
N.W.1/4 SEC.7 T.3S. R.2E. W.M.
CLACKAMAS COUNTY
1" = 200'

D. L. C.
M. M. MCCARVER NO. 40
S. S. WHITE NO. 41

Cancelled Taxlots

- 100
- 200
- 201
- 202
- 400
- 401
- 500
- 600
- 700
- 800
- 900
- 901
- 902
- 903
- 904
- 905
- 1000A1
- 1000
- 1001
- 1002
- 1100
- 1302
- 1400
- 1500
- 1600
- 1601
- 1700
- 1701
- 1702
- 1800
- 1900
- 1901
- 2000
- 2100
- 2200
- 2201
- 2202
- 2203
- 2204
- 2205
- 2206
- 2400
- 2500
- 2500
- 2600
- 2900
- 3600
- 3601
- 3602
- 3700
- 3800
- 3900
- 4000
- 4103

- Parcel Boundary
- Private Road ROW
- Historical Boundary
- Railroad Centerline
- TaxCodeLines
- Map Index
- WaterLines
- Land Use Zoning
- Plats
- Water
- Corner
- Section Corner
- 1/16th Line
- Govt Lot Line
- DLC Line
- Meander Line
- PLSS Section Line
- Historic Corridor 40'
- Historic Corridor 20'

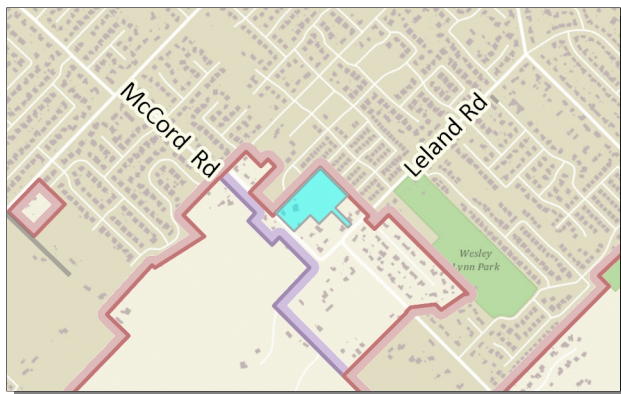


THIS MAP IS FOR ASSESSMENT
PURPOSES ONLY



Taxlot Detail Report

Taxlot: 3-2E-07B -04100



Overview Map

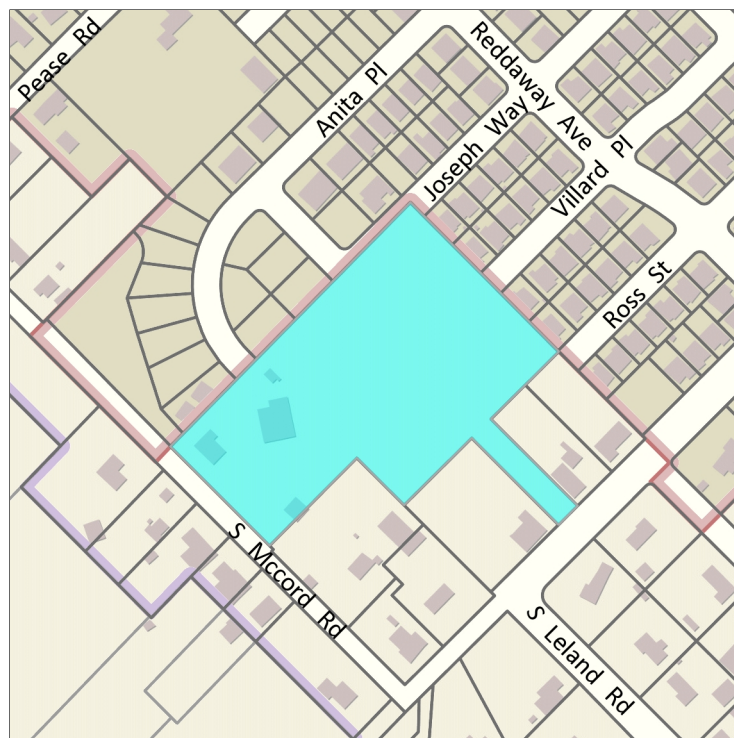
Taxlot Information

APN: 3-2E-07B -04100

Alt ID: 00862463

Site Address: 19588 S MCCORD RD
OREGON CITY, OR 97045

Year Built: 1978



Taxlot highlighted in blue

Taxpayer Information

Taxpayer: DAVID G DOUGLASS

Address: 19588 S MCCORD RD
OREGON CITY, OR 97045

Reference Information

Parcel Area (acres - approx): 5.3

Parcel Area (sq. ft. - approx): 229,125

Twn/Rng/Sec: 03S 02E 7

Tax Map Reference: 32E07B

Values

Values as of: 12/20/2013

Land Value (Mkt): \$215,661

Building Value (Mkt): \$204,340

Exempt Amount: \$0

Net Value (Mkt): \$420,001

Note: The values above are Market, NOT Assessed values.

Assessed Value: \$379,860

Planning Designations

Zoning: County
- County

Comprehensive Plan: Ir
- Residential - Low Density

Subdivision: NONE

PUD (if known):

Neighborhood Assn:

Urban Renewal District:

Historic District:

Historic Designated Structure? N

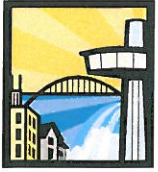
In Willamette Greenway? N

In Geologic Hazard? N

In Nat. Res. Overlay District (NROD)? N

In 1996 Floodplain? N





AFFIDAVIT OF POSTING OF NOTICE FOR LAND USE APPLICATIONS

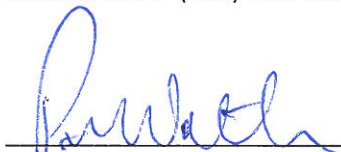
Applicants: Brian D'Ambrosio & Valerie Hunter

Location: 19588 S. McCord Road, Oregon City, Oregon 97045
Clackamas County Map 3-2E-07b, Tax Lot 4100

File Numbers: AN 14-01: Annexation

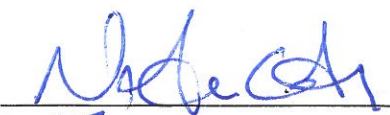
Your application requires the posting of signs on the subject site that provides a brief description of your proposal and requests comments from the public. The signs shall be mounted on a sturdy backing (such as plywood), and posted within 10 to 15 feet of the street so they are clearly visible. The notices shall not be posted on trees or utility poles. If the weather is wet please cover the signs with clear plastic, or other clear weatherproof material. It is your responsibility to post the signs and failure to do so by the date specified will result in the automatic extension of the public comment period. **Please see attached map for sign posting locations.**

The signs shall be posted by **May 30, 2014** so that they are clearly visible along the street fronting the property. A map is enclosed distinguishing the location of where the signs should be posted. Please maintain the signs posted until after the City Commission hearings. If you have any questions please contact me at (503) 496-1568.


Pete Walter, AICP, Associate Planner
City of Oregon City - Planning Division
221 Molalla Avenue, Suite 200
Oregon City, Oregon 97045

PLEASE SIGN AND RETURN THIS NOTICE TO THE PLANNING DIVISION

I hereby certify that on (date) 5/30/2014, I posted the required signs on the subject site in accordance with the requirements of the Oregon City Municipal Code. If there is any delay in the city's land use process caused by the applicant's failure to correctly post the subject property for the required period of time and in the correct location, the applicant agrees to extend the one-hundred-twenty-day period in a timely manner.


Applicant
REPRESENTATIVE
NATHAN GARAY - AKS

6/2/2014
Date



Community Development – Planning

221 Molalla Ave. Suite 200 | Oregon City OR 97045

Ph (503) 722-3789 | Fax (503) 722-3880

NOTICE OF ANNEXATION APPLICATION

Notice Mailed to all Owners within 300 feet of the Subject Property on: May 28, 2014

COMMENT DEADLINE:	On Monday, June 23, 2014, the Planning Commission will conduct a public hearing at 7:00 pm in the Commission Chambers at City Hall, 625 Center Street, Oregon City, Oregon 97045, and; On Wednesday, August 6, 2014, the City Commission will conduct a public hearing at 7:00 pm in the Commission Chambers at City Hall, 625 Center Street, Oregon City, Oregon 97045 on the following annexation application. Any interested party may testify at either or both of the public hearings or submit written testimony at the Planning Commission or City Commission hearings prior to the close hearing.
FILE NUMBER:	AN 14-01: Annexation
APPLICANTS:	Brian D'Ambrosio & Valerie Hunter 3336 SE Belmont Street Portland, Oregon 97214
OWNERS:	David and Diane Douglass 19588 S. McCord Road Oregon City, Oregon 97045
REPRESENTATIVE:	AKS Engineering Chris Goodell 12965 SW Herman Road, Suite 100 Tualatin, OR 97062
REQUEST:	Annexation of approximately 5.5 acres into the City of Oregon City. The site is within the Oregon City Urban Growth Boundary and has a Comprehensive Plan designation of LR – Low Density Residential.
LOCATION:	19588 S. McCord Road, Oregon City, Oregon 97045 Clackamas County Map 3-2E-07b, Tax Lot 4100
STAFF CONTACT:	Pete Walter, AICP, Planner, (503) 496-1568.
NEIGHBORHOOD ASSOCIATION:	Tower Vista Neighborhood Association
CRITERIA:	Metro Code 3.09, Oregon City Municipal Code Title 14 and Subsection 17.68.025, the Land Use Chapter of the Clackamas County Comprehensive Plan, the City/County Urban Growth Boundary Management Agreement and Sections 11 and 14 of the Oregon City Comprehensive Plan.

The applicant and all documents submitted by or on behalf of the applicant are available for inspection at no cost at the Oregon City Planning Division, 221 Molalla Avenue, Oregon City, Oregon 97045, from 8:00am to 5:00pm Monday thru Thursday. The staff report, with all the applicable approval criteria, will also be available for inspection 15 days prior to the hearing. Copies of these materials may be obtained for a reasonable cost in advance. Please be advised that any issue that is intended to provide a basis for appeal must be raised before the close of the Planning Commission hearing, in person or by letter, with sufficient specificity to afford the Planning Commission and the parties an opportunity to respond to the issue. Failure to raise an issue with sufficient specificity will preclude any appeal on that issue. The Planning Commission shall make a recommendation to the City Commission as to whether the application has or has not complied with the factors set forth in section 14.04.060 of the Oregon City Municipal Code. The City Commission shall only set for an election annexations consistent with a positive balance of the annexation factors.



6605 SE Lake Road, Portland, OR 97222
PO Box 22109, Portland, OR 97269-2109
Phone: 503-684-0360 Fax: 503-620-3433
E-mail: legals@commnewspapers.com

AFFIDAVIT OF PUBLICATION

State of Oregon, County of Clackamas, SS
I, Charlotte Allsop, being the first duly sworn, depose
and say that I am Accounting Manager of *Clackamas
Review/Oregon City News and Estacada News*, a
newspaper of general circulation, published at
Clackamas, in the aforesaid county and state, as
defined by ORS 193.010 and 193.020, that

City of Oregon City
Notice of Annexation Application – AN14-01
CLK13108

a copy of which is hereto annexed, was published in
the entire issue of said newspaper for

1

week in the following issue:

June 4, 2014

Charlotte Allsop

Charlotte Allsop (Accounting Manager)

Subscribed and sworn to before me this
June 4, 2014.

Jerrin L Sipe

NOTARY PUBLIC FOR OREGON

My commission expires *Sept 1, 2015*

PO: Pete Walter

Acct #500291

Attn: Pete Walter

City of Oregon City

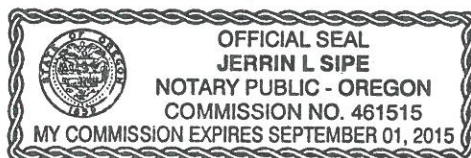
PO Box 3040

Oregon City, OR 97045-0304

Size: 2 x 5.5"

Amount Due: \$130.35*

*Please remit to address above.



NOTICE OF ANNEXATION APPLICATION

COMMENT DEADLINE: On Monday, June 23, 2014, the Planning Commission will conduct a public hearing at 7:00 pm in the Commission Chambers at City Hall, 625 Center Street, Oregon City, Oregon 97045, and; On Wednesday, August 6, 2014, the City Commission will conduct a public hearing at 7:00 pm in the Commission Chambers at City Hall, 625 Center Street, Oregon City, Oregon 97045 on the following annexation application. Any interested party may testify at either or both of the public hearings or submit written testimony at the Planning Commission or City Commission hearings prior to the close hearing.

FILE NUMBER: AN 14-01: Annexation

APPLICANTS: Brian D'Ambrosio & Valerie Hunter, 3336 SE Belmont Street, Portland, Oregon 97214

OWNERS: David and Diane Douglass, 19588 S. McCord Road, Oregon City, Oregon 97045

REPRESENTATIVE: AKS Engineering, Chris Goodell, 12965 SW Herman Road, Suite 100, Tualatin, OR 97062

REQUEST: Annexation of approximately 5.5 acres into the City of Oregon City. The site is within the Oregon City Urban Growth Boundary and has a Comprehensive Plan designation of LR – Low Density Residential.

LOCATION: 19588 S. McCord Road, Oregon City, Oregon 97045, Clackamas County Map 3-2E-07b, Tax Lot 4100

STAFF CONTACT: Pete Walter, AICP, Planner, (503) 496-1568

NEIGHBORHOOD ASSOCIATION: Tower Vista Neighborhood Association

CRITERIA: Metro Code 3.09, Oregon City Municipal Code Title 14 and Subsection 17.68.025, the Land Use Chapter of the Clackamas County Comprehensive Plan, the City/County Urban Growth Boundary Management Agreement and Sections 11 and 14 of the Oregon City Comprehensive Plan.

The applicant and all documents submitted by or on behalf of the applicant are available for inspection at no cost at the Oregon City Planning Division, 221 Molalla Avenue, Oregon City, Oregon 97045, from 8:00am to 5:00pm Monday thru Thursday. The staff report, with all the applicable approval criteria, will also be available for inspection 15 days prior to the hearing. Copies of these materials may be obtained for a reasonable cost in advance. Please be advised that any issue that is intended to provide a basis for appeal must be raised before the close of the Planning Commission hearing, in person or by letter, with sufficient specificity to afford the Planning Commission and the parties an opportunity to respond to the issue. Failure to raise an issue with sufficient specificity will preclude any appeal on that issue. The Planning Commission shall make a recommendation to the City Commission as to whether the application has or has not complied with the factors set forth in section 14.04.060 of the Oregon City Municipal Code. The City Commission shall only set for an election annexations consistent with a positive balance of the annexation factors.

Publish 06/04/2014.

CLK13108

Tower-Vista Neighborhood Association Meeting Summary**Project: 19588 McCord Road – Oregon City, Oregon****Date:** June 18, 2013**Time:** 7:00 PM**Location:** Ainsworth House – 19130 Lot Whitcomb Drive, OR 97045

The following serves as a summary of the primary subjects covered at the Neighborhood Association Meeting regarding the Annexation of 19588 McCord Road. In general, the proposal was well received with no objections.

Attendance: See Attendance Sign In Sheet

- General discussion of proposed project:
 - +/-5.3 acre property
 - City Annexation Process
 - Benefits of Annexation into the City verses staying in the County
 - City R-6 zoning – 6,000 square foot average lot size
 - Rough project timeline
- The general project discussion was followed by a question and answer session. The following topics were covered/questions asked/responses provided:
 - What are the benefits of annexing a property into the City?
Response: City services such as water, sewer, and stormwater connections will be provided. Increased density of development to match the surrounding properties.
 - What is the annexation process with the City?
Response: Pre-Application conference, neighborhood meeting, submittal of application, City initial review, voter approval.

Tower-Vista Neighborhood Association
Ainsworth House
19130 Lot Whitcomb Drive
June 18, 2013 - 7:00 PM

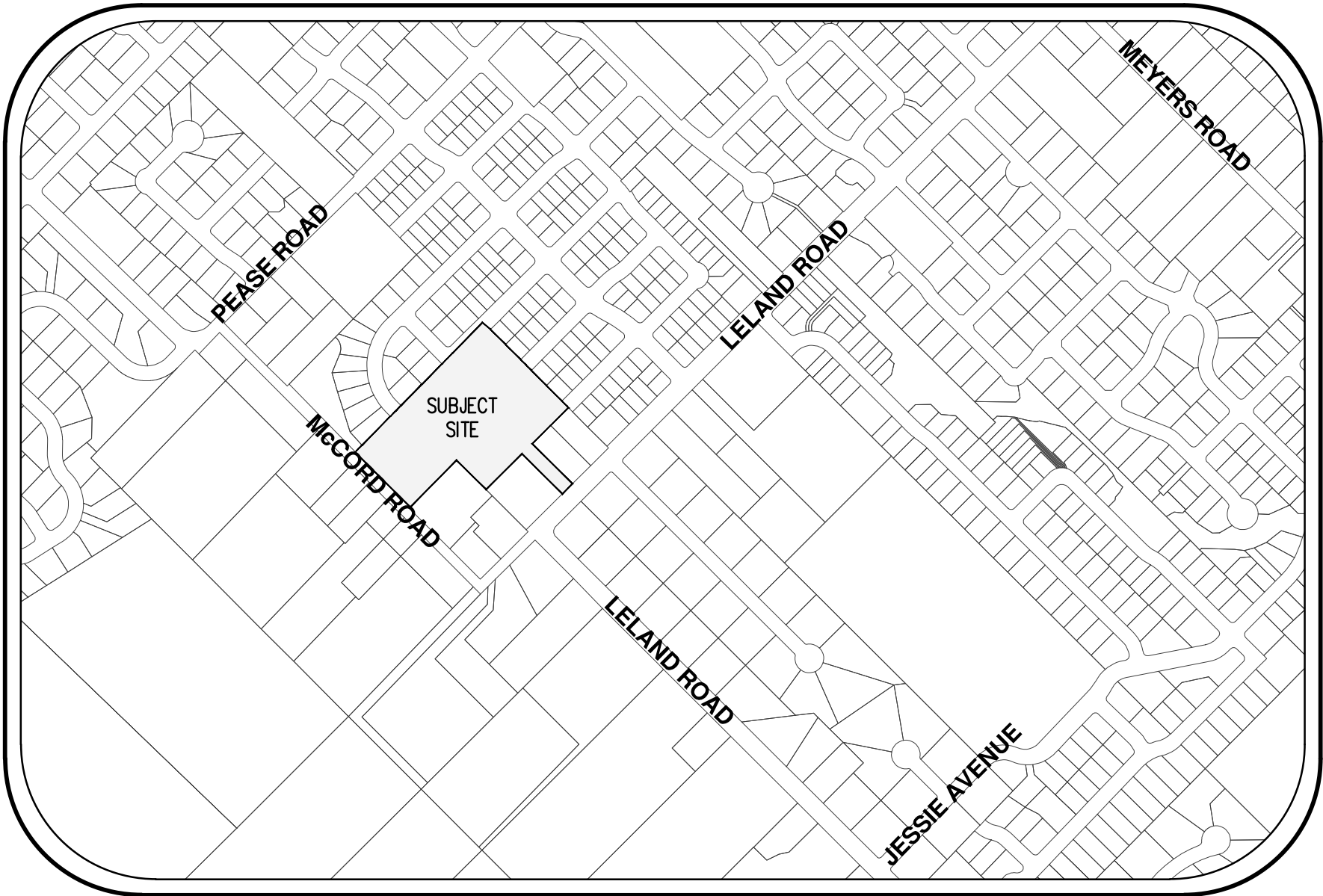
Oregon City Annexation
19588 McCord Road
Oregon City, OR 97045

NAME**PLEASE PRINT CLEARLY****STREET ADDRESS****PHONE/EMAIL**

- | | | | |
|----|------------------------------|-----|-------|
| 1. | <u>Todd LAST</u> | 8. | _____ |
| | <u>12485 Rogue River</u> | | _____ |
| | <u>Todd.LAST@comcast.net</u> | | _____ |
| 2. | <u>Anne Bellamy</u> | 9. | _____ |
| | <u>12740 Swallowtail Pl.</u> | | _____ |
| | <u>Oregon City OR 97045</u> | | _____ |
| 3. | <u>Tom + Juanita Byrd</u> | 10. | _____ |
| | <u>12473 Rogue River Way</u> | | _____ |
| | <u>Ore City, OR 97045</u> | | _____ |
| 4. | _____ | 11. | _____ |
| | _____ | | _____ |
| | _____ | | _____ |
| 5. | _____ | 12. | _____ |
| | _____ | | _____ |
| | _____ | | _____ |
| 6. | _____ | 13. | _____ |
| | _____ | | _____ |
| | _____ | | _____ |
| 7. | _____ | 14. | _____ |
| | _____ | | _____ |
| | _____ | | _____ |

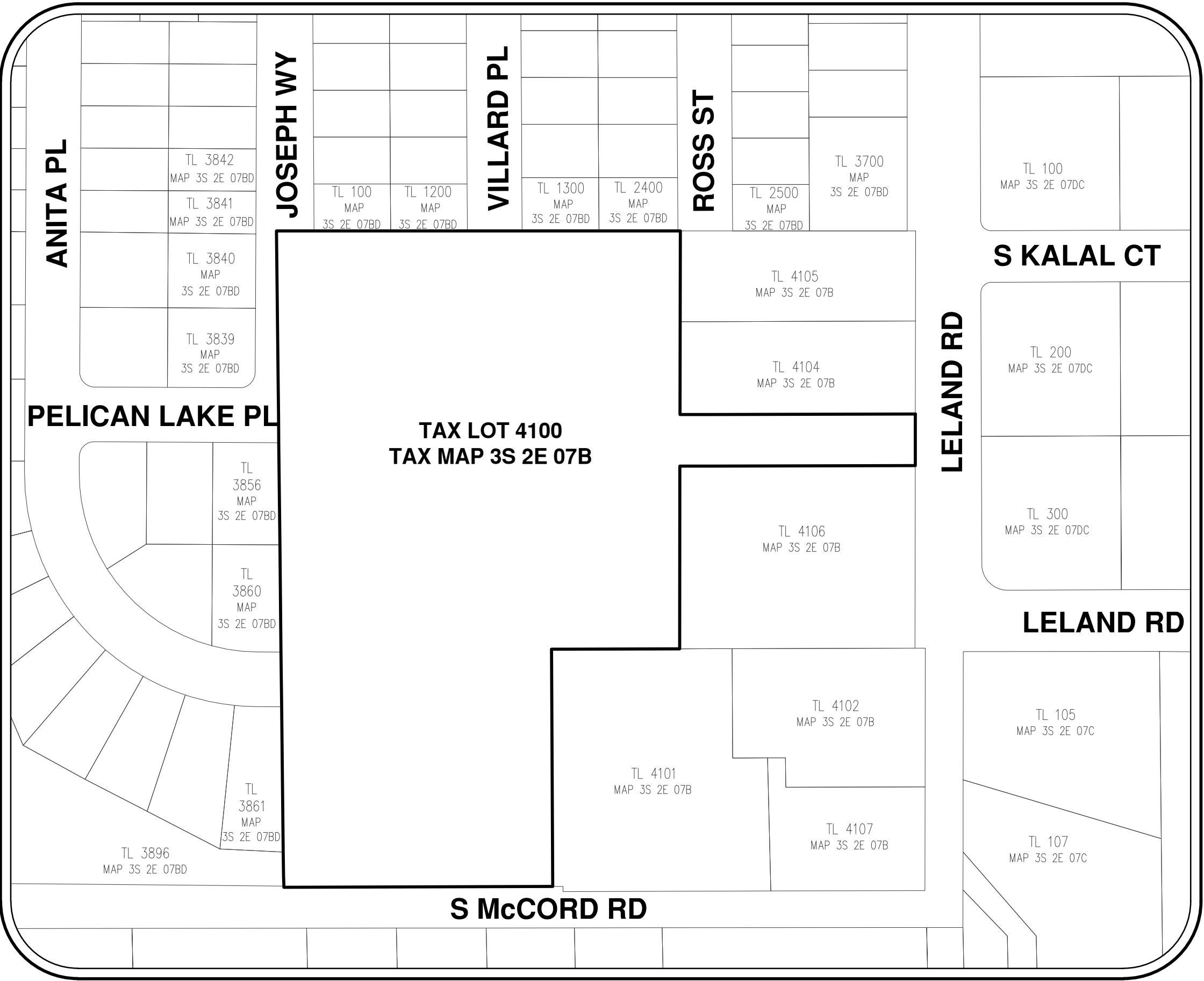
19588 McCORD ROAD

ANNEXATION PLANS



VICINITY MAP

SCALE: 1" = 500'



SITE MAP

SCALE: 1" = 100'

APPLICANT:

H&H PREFERRED REAL ESTATE
3336 SE BELMONT STREET
PORTLAND, OR 97214

PLANNING/CIVIL ENGINEERING/SURVEYING LANDSCAPE ARCHITECTURE FIRM (APPLICANT'S REPRESENTATIVE):

AKS ENGINEERING & FORESTRY, LLC
CONTACT: MONTY HURLEY/CHRIS GOODELL
13910 SW GALBREATH DRIVE, SUITE 100
SHERWOOD, OR 97140
PH: 503-925-8799
FAX: 503-925-8969

SITE LOCATION:

19588 McCORD ROAD
OREGON CITY, OR 97045

SITE DESCRIPTION:

TAX LOT 4100 CLACKAMAS COUNTY ASSESSOR'S MAP 3S 2E 07B,
LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 7,
TOWNSHIP 3 SOUTH, RANGE 2 EAST, WILLAMETTE MERIDIAN,
CLACKAMAS COUNTY, OREGON.

EXISTING LAND USE:

EXISTING SINGLE FAMILY RESIDENTIAL HOME AND
ACCESSORY BUILDINGS WITH PASTURE/FIELD

PROJECT PURPOSE:

ANNEXATION OF TAX LOT 4100 INTO THE CITY OF
OREGON CITY

TOTAL SITE AREA:

5.50 ACRES±

SHEET INDEX:

- 1 - COVER SHEET WITH VICINITY AND SITE MAPS
- 2 - EXISTING SITE MAP WITH AERIAL CONTOURS
- 3 - EXISTING SITE MAP WITH AERIAL PHOTOGRAPH
- 4 - SURROUNDING AREA MAP WITH AERIAL PHOTOGRAPH
- 5 - EXISTING ZONING MAP
- 6 - EXISTING UTILITIES MAP

NOTE:

THE INFORMATION SHOWN IN THESE PLANS HAS BEEN COLLECTED FROM
VARIOUS SOURCES INCLUDING METRO GIS DATA AND CITY OF OREGON CITY GIS
DATA. THIS DATA IS PRELIMINARY AND SUBJECT TO CHANGE BASED ON
FIELD-SURVEYED BOUNDARY AND TOPOGRAPHIC INFORMATION.

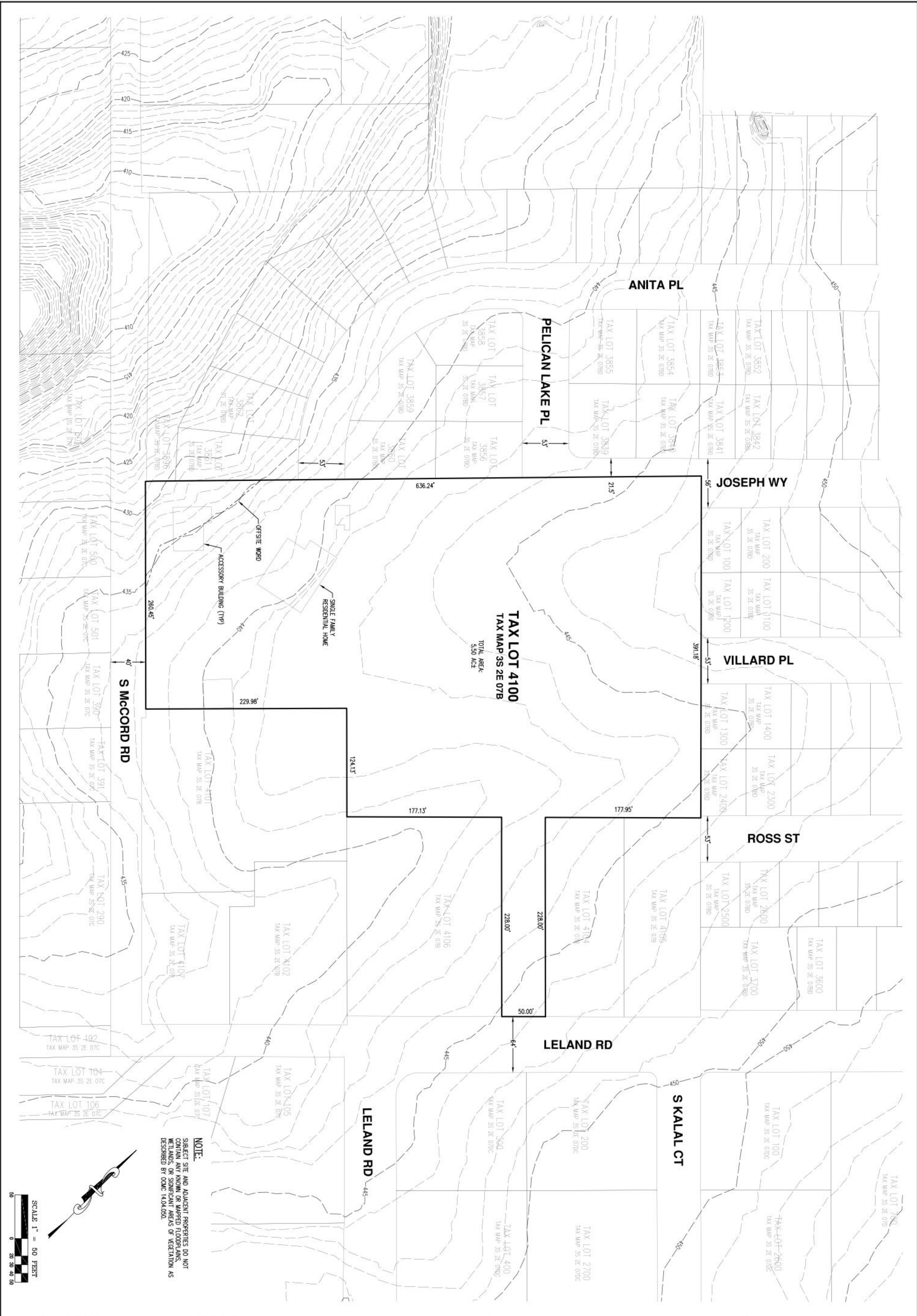
19588 McCORD ROAD

CLACKAMAS COUNTY OREGON
TAX LOT 4100

COVER SHEET WITH
VICINITY AND SITE MAPS

DESIGNED BY:
DRAWN BY: BLF
CHECKED BY: MBH
SCALE: AS NOTED
DATE: 04/11/2014
RENEWAL DATE: 6/30/15
REVISIONS:
JOB NUMBER
3523
SHEET
1

AKS ENGINEERING AND FORESTRY, LLC
13910 SW GALBREATH DR
SUITE 100
SHERWOOD, OR 97140
PHONE: 503.925.8799
FAX: 503.925.8969
www.aks-eng.com
ENGINEERING · PLANNING · SURVEYING
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DESIGNED BY: BLF

DRAWN BY: MHR

CHECKED BY: AS NOTED

SCALE: AS NOTED

DATE: 04/11/2014

REGISTERED PROFESSIONAL ENGINEER
No. 3523
CLACKAMAS COUNTY, OREGON
B. HURLEY

REVISIONS
REVISION DATE: 6/29/18

EXISTING SITE MAP WITH
AERIAL CONTOURS

19588 McCORD ROAD
CLACKAMAS COUNTY OREGON
TAX LOT 4100
CLACKAMAS COUNTY TAX MAP 3S 2E 07B

AKS ENGINEERING AND FORESTRY, LLC
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EXISTING SITE MAP WITH
AERIAL PHOTOGRAPH

19588 McCORD ROAD

CLACKAMAS COUNTY OREGON

AKS ENGINEERING AND FORESTRY, LLC
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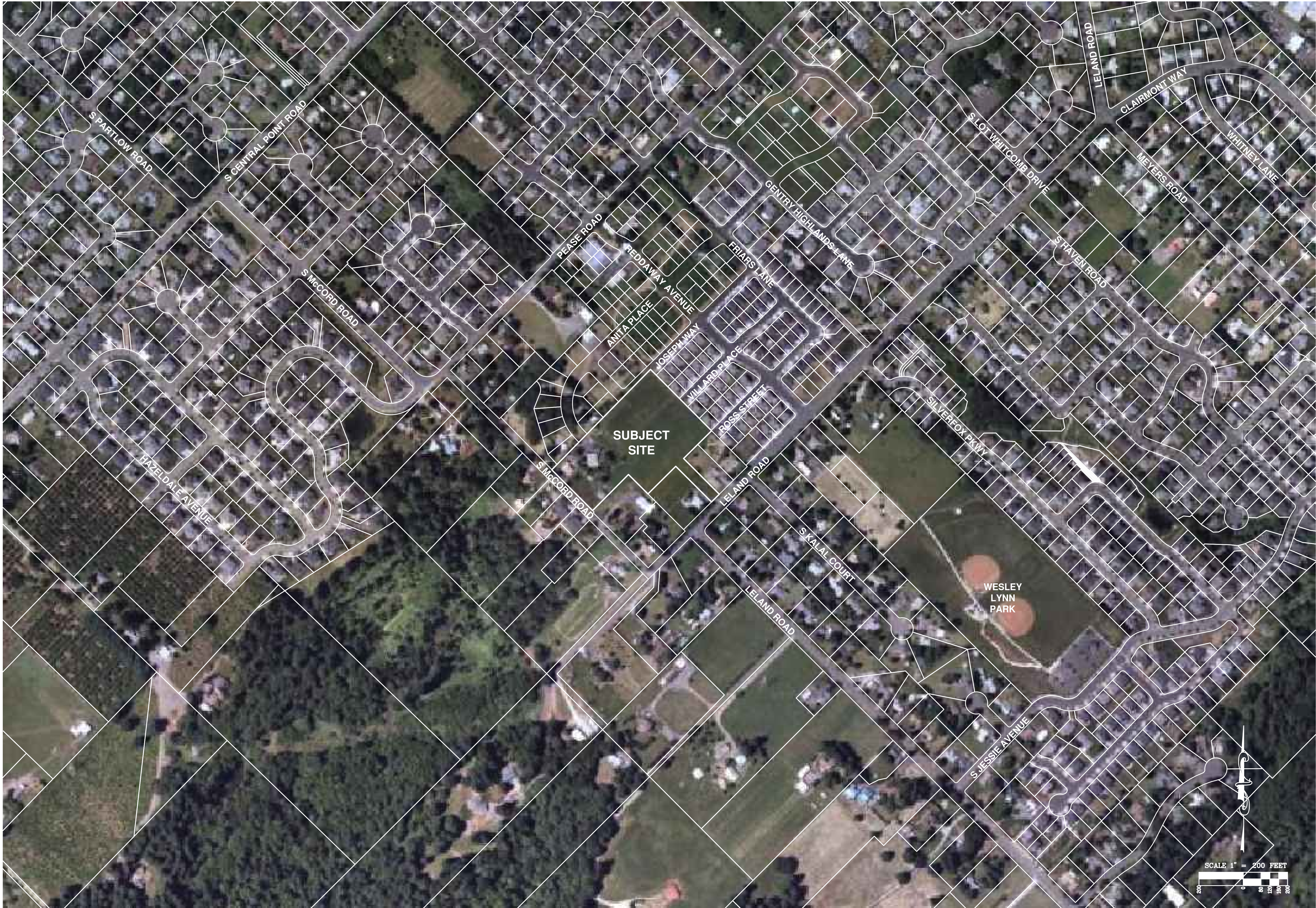
DESIGNED BY: BLF
DRAWN BY: MHH
CHECKED BY: AS NOTED
DATE: 04/11/2014
SCALE: AS NOTED



JOB NUMBER
3523

SHEET

3



**SURROUNDING AREA
MAP WITH AERIAL
PHOTOGRAPH**

19588 McCORD ROAD
CLACKAMAS COUNTY OREGON
TAX LOT 4100

DESIGNED BY: _____
DRAWN BY: BLF
CHECKED BY: MBH
SCALE: AS NOTED
DATE: 04/11/2014

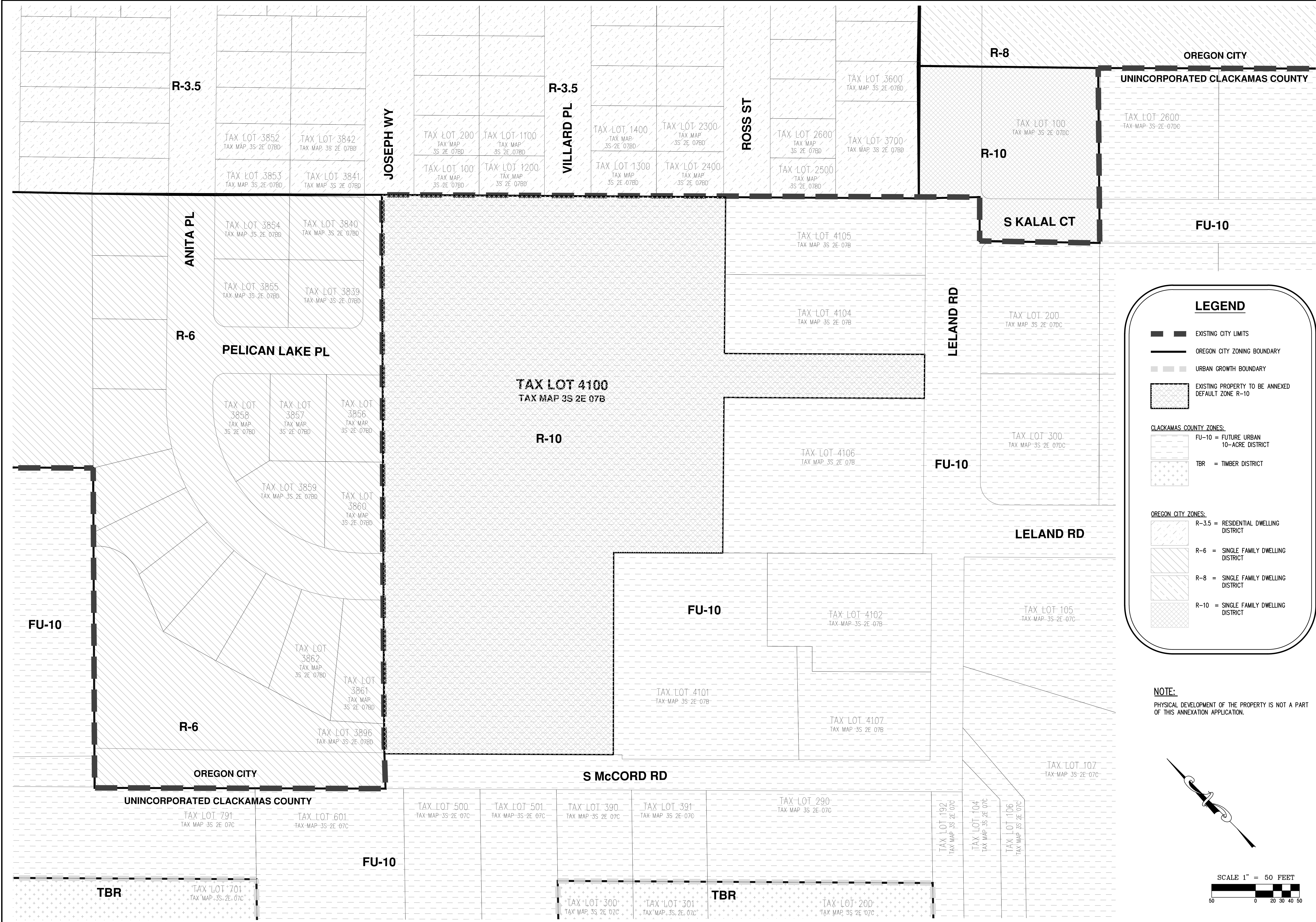
REGISTERED PROFESSIONAL ENGINEER
PAUL L. HUNLEY
RENEWAL DATE: 6/30/15

REVISIONS

JOB NUMBER
3523
SHEET
4

AKS
AKS ENGINEERING AND FORESTRY, LLC
13910 SW CALBREATH DR
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SHERWOOD, OR 97140
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LEGEND

EXISTING CITY LIMITS

OREGON CITY ZONING BOUNDARY

URBAN GROWTH BOUNDARY

EXISTING PROPERTY TO BE ANNEXED
DEFAULT ZONE R-10

CLACKAMAS COUNTY ZONES:

FU-10 = FUTURE URBAN
10-ACRE DISTRICT

TBR = TIMBER DISTRICT

OREGON CITY ZONES:

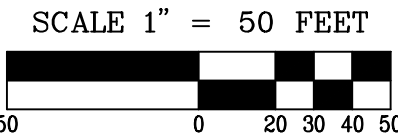
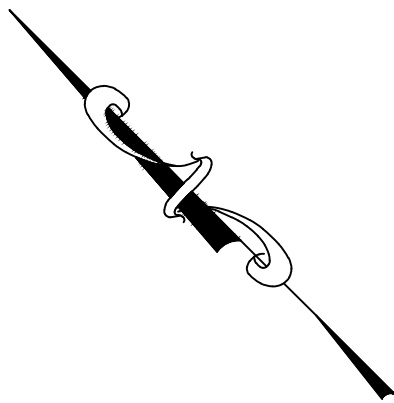
R-3.5 = RESIDENTIAL DWELLING
DISTRICT

R-6 = SINGLE FAMILY DWELLING
DISTRICT

R-8 = SINGLE FAMILY DWELLING
DISTRICT

R-10 = SINGLE FAMILY DWELLING
DISTRICT

NOTE:
PHYSICAL DEVELOPMENT OF THE PROPERTY IS NOT A PART
OF THIS ANNEXATION APPLICATION.



AKS
AKS ENGINEERING AND FORESTRY, LLC
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19588 McCORD ROAD

CLACKAMAS COUNTY OREGON
CLACKAMAS COUNTY TAX MAP 3S 2E 07B
TAX LOT 4100

EXISTING ZONING MAP

DESIGNED BY:
DRAWN BY: BLF
CHECKED BY: MBH
SCALE: AS NOTED
DATE: 04/11/2014

REGISTERED PROFESSIONAL
ENGINEER
5880
PEL LINDSEY
OREGON
RENEWAL DATE: 6/30/15

REVISIONS

JOB NUMBER
3523

SHEET
5

Clackamas River Water

P.O. Box 2439
Clackamas, Oregon 97015-2439

(503) 722-9220
Fax (503) 656-7086

16770 SE 82nd Drive, Clackamas
customerservice@crwater.com



Date: June 10, 2014 **SENT VIA EMAIL**

To: Pete Walter, Planning
City of Oregon City

From: Robert C. George, District Engineer
Clackamas River Water

Subject: **Notice of Annexation:** **File #: AN 14-01**

Applicant: Brian D'Ambrosio & Valerie Hunter
3336 SE Belmont Street
Portland, Oregon 97214

Site Address: 19588 S McCord Rd, Oregon City, OR 97045

Legal Description: 32E07B 04100

Comments:

1. As part of the proposed annexation CRW requests per ORS 222.520 Annexation of Less Entire District, that the City of Oregon City **withdraw** Tax Lot 4100 of Tax Map 32E07B from the CRW's district service boundary.
2. Clackamas River Water (CRW) understands that it will remain the supplier to the existing water services that are within the District service boundary along Leland Rd and McCord Rd. All annexed properties water services should be **transferred** from CRW infrastructure to Oregon City's as part of this development.
3. The property currently is within the service boundary of Clackamas River Water. CRW recognizes that the City will provide water service to the entire development.
4. CRW requests that the City review the possibility of looping the developments new water system south west to S. McCord Road (fronting lots 22 23 per AKS drawing Preliminary Lot Layout 1), then extend north west (approx. 400 ft) along S. McCord Road tying into the City's main.

5. CRW requests that the City and the applicant coordinate the design and the transferring of the existing CRW services to the City's distribution system.

CRW has no objections to this application, however these comments are introductory and may change based on the preliminary/final design.

For further information regarding application please contact Betty Johnson, 503-723-2571.

Very truly yours,



Robert C. George
District Engineer

cc: file

From: replinger-associates@comcast.net
To: [Pete Walter](#)
Cc: [Gordon Munro](#); [Tony Konkol](#); [Todd Martinez](#)
Subject: Re: AN 14-01 Transportation Impacts
Date: Monday, June 23, 2014 5:03:58 PM
Attachments: [image001.png](#)

Thanks, Pete.

An automatic rezoning to R-10 is what I assumed would happen. I think that would be consistent with the assumptions for the TSP.

In my message below, I should have been more precise about my assumptions on rezoning. When it comes time to develop, I think the applicant will need a TIA with a TPR analysis if he seeks rezoning to a higher density than the automatic R-10 classification.

John

From: "Walter, Pete" <pwalter@ci.oregon-city.or.us>
To: "replinger-associates" <replinger-associates@comcast.net>
Cc: "Gordon Munro" <GordonMunro@KennedyJenks.com>, "Konkol, Tony" <tkonkol@ci.oregon-city.or.us>, "Martinez, Todd" <tmartinez@ci.oregon-city.or.us>
Sent: Monday, June 23, 2014 4:21:42 PM
Subject: RE: AN 14-01 Transportation Impacts

Just to clarify my previous statement, the annexation would qualify for automatic rezoning to R-10.

[Pete](#)

From: replinger-associates@comcast.net [<mailto:replinger-associates@comcast.net>]
Sent: Monday, June 23, 2014 1:34 PM
To: Pete Walter
Cc: Gordon Munro; Tony Konkol; Todd Martinez
Subject: Re: AN 14-01 Transportation Impacts

All:

I agree with Pete's approach and conclusion. If the inclusion of the parcel within the UGB can be verified, I think the traffic impacts of low-density residential have been accounted for with the TSP.

If the applicant proposes to develop at that density, he likely needs only a Traffic Analysis Letter (TAL) to move forward with his development.

If he chooses to seek a new zoning classification with higher density (and more traffic) he is

likely to go above the cutoff value for a TAL and would need to have a Traffic Impact Analysis. In the case of a rezoning, the applicant would need to provide a TPR analysis because it would result in more traffic.

John

John Replinger, PE
Replinger & Associates LLC
6330 SE 36th Avenue
Portland, OR 97202
503-719-3383
replinger-associates@comcast.net

From: "Walter, Pete" <pwalter@ci.oregon-city.or.us>
To: "Gordon Munro" <GordonMunro@KennedyJenks.com>, "Konkol, Tony" <tkonkol@ci.oregon-city.or.us>
Cc: "Martinez, Todd" <tmartinez@ci.oregon-city.or.us>, "replinger-associates" <replinger-associates@comcast.net>
Sent: Thursday, June 19, 2014 1:47:58 PM
Subject: RE: AN 14-01 Transportation Impacts

I agree. Unfortunately I am not as familiar with the new TSP as our old one.

Pete

From: Gordon Munro [<mailto:GordonMunro@KennedyJenks.com>]
Sent: Thursday, June 19, 2014 1:33 PM
To: Pete Walter; Tony Konkol
Cc: Todd Martinez; John Replinger (replinger-associates@comcast.net)
Subject: RE: AN 14-01 Transportation Impacts

Hi Pete

I tend to agree with your evaluation, but John needs to weigh in on this.

Thanks
Gordon

From: Pete Walter [<mailto:pwalter@ci.oregon-city.or.us>]
Sent: Wednesday, June 18, 2014 10:47 AM
To: Tony Konkol
Cc: Todd Martinez; John Replinger (replinger-associates@comcast.net); Gordon Munro
Subject: AN 14-01 Transportation Impacts
Importance: High

The 5.5 acre annexation on S. McCord Road does not include any transportation analysis. It does include narrative statements that the subject property was evaluated in the latest TSP for an R-10 designation and found to have no adverse impacts that would require a traffic study for the property, and that since the property was part of the 1980 UGB it complies with the TPR. OAR 660-012-0060.

I don't see this as an issue provided that the applicable parts of the TSP are referenced, the annexation does not re-zone the property, and recognizing that the applicant will need to provide a detailed TIS with a re-zoning / development application if the voters approve the annexation.

What is your take on this?

Pete



Pete Walter, AICP, Associate Planner

pwalter@orc.org

**Community Development Department
Planning Division**

221 Molalla Avenue, Ste. 200

Oregon City, Oregon 97045

503-496-1568 Direct

503-722-3789 Front Desk

503-722-3880 Fax

Website: www.orcity.org

Hours: Counter/Walk-in: 8-5 Mon-Thurs.

Friday: Phone, Email and Appointment Only.



Need Zoning and other Tax Lot Information? - [Generate a Property Report](#)

Online Mapping is available at [OCWebMaps](#)



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City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Staff Report

File Number: 14-435

Agenda Date: 7/28/2014

Status: Draft

To: Planning Commission

Agenda #:

From:

File Type: Resolution

SUBJECT:

Oregon City Sign Code Update (Planning File: L 14-01).

RECOMMENDED ACTION (Motion):

Staff recommends that the Planning Commission take public testimony from any interested party that wishes to testify and then continue the public hearing for planning file L 14-01: Sign Code Update to the August 11th, 2014 Planning Commission hearing.

BACKGROUND:

After nearly 20 years without a significant change, Oregon City has been working to review the sign regulations to better meet the needs of Oregon City residents and businesses now and into the future. The Oregon City Municipal Code currently has limitations on the type, quantity, size and material of signage allowed on public and property in chapter 15.28.

A comprehensive public process has resulted in many community discussions and recommendations to City staff for revisions to the signage standards. The Planning Commission has held worksessions to review the proposed code on February 24, 2014, March 24, 2014, April 28, 2014 and June 23, 2014 and hearings on April 14, 2014, May 12, 2014, June 23, 2014 and July 28, 2014.

Staff is currently working to finalize the recommendations for the Planning Commission and completing the city wide mural inventory.

BUDGET IMPACT:

Amount:

FY(s):

Funding Source: