



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Meeting Agenda Historic Review Board

Tuesday, June 26, 2018

7:00 PM

Commission Chambers

1. Call to Order

2. Public Comments

3 Design Advice

3a Design Advice: New construction on a residential site in the Canemah National Register District.

Attachments: [Commission Report](#)
[Elevation Narrative Revised June 2018](#)
[Elevation Drawings- Revised June 2018](#)
[Narrative- May Submittal](#)
[Plans-May Submittal](#)
[Design Guidelines for Bungalows in Canemah](#)

4 Hearings

4a. HR 18-03 Reducing the size of the Knute Tolleson House in conjunction with the construction of 23 new townhome style apartments onsite.

Attachments: [Commission Report](#)
[HR 18-03 Staf Memo- June 26, 2018 HRB Meeting](#)
[Exhibit A- Archaeological Sites on Private Lands FAQ Bulletin.](#)
[HR 18-03 Staff Report](#)
[Exhibit 1 Vicinity Map](#)
[Exhibit 2 Applicant's Submittal](#)
[Exhibit 3 Proposed Revised Landmark Boundary](#)
[Exhibit 4 Survey Form](#)
[Exhibit 5 Public Comments: Clackamas County Engineering](#)
[Public Comment- Alan Redbourn Entered into Record on May 22, 2018](#)
[Harley Oak Evaluation Letter](#)

4b HR 18-06 Approval of a New Office Building in the McLoughlin Conservation District.

Attachments: [Commission Report](#)

[Staff Report](#)

[Exhibit A Applicant's 2018 Addendum](#)

[Exhibit B Applicant's Narrative](#)

[Exhibit C Plans](#)

[Exhibit D Public Comments- Wes Rogers](#)

5. Adjournment

Public Comments: The following guidelines are given for citizens presenting information or raising issues relevant to the City but not listed on the agenda.

- *Complete a Comment Card prior to the meeting and submit it to the staff member.*
- *When the Chair calls your name, proceed to the speaker table and state your name and city of residence into the microphone.*
- *Each speaker is given 3 minutes to speak. To assist in tracking your speaking time, refer to the timer at the dais.*
- *As a general practice, Oregon City Officers do not engage in discussion with those making comments.*

Agenda Posted at City Hall, Pioneer Community Center, Library, and City Web site(oregon-city.legistar.com).

Video Streaming & Broadcasts: The meeting is streamed live on Oregon City's Web site at www.orcity.org and is available on demand following the meeting.

ADA: City Hall is wheelchair accessible with entry ramps and handicapped parking located on the east side of the building. Hearing devices may be requested from the City staff member prior to the meeting. Disabled individuals requiring other assistance must make their request known 48 hours preceding the meeting by contacting the City Recorder's Office at 503-657-0891.



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Staff Report

File Number: PC 18-084

Agenda Date:

Status: Agenda Ready

To: Historic Review Board

Agenda #: 2a.

From: Christina Robertson-Gardiner

File Type: Planning Item

SUBJECT:

Design Advice: New construction on a residential site in the Canemah National Register District.

RECOMMENDED ACTION (Motion): Staff recommends the Board provide non-binding advice on the design of the revised drawings for new construction in Canemah.

BACKGROUND: The applicant proposed development at unbuilt 5th Avenue and Apperson Street in Canemah and is seeking non-binding design advice. The applicant initially presented their proposal at the May Historic Review Board Meeting. The applicant has returned with revised elevation drawings in response to Historic Review Board feedback.

BUDGET IMPACT:

Amount:

FY(s):

Funding Source:

City of Oregon City Planning Dept

June 18, 2018

Attn: Christina Robertson- Gardiner

RE: New single family residence and detached garage/ ADU to be located at vacant lot between 4th and 5th Ave off Apperson St. Parcel number 3-1E-01AA-02602, response to preliminary design advice from May 2018

Christina,

In response to the preliminary design advice offered by the Historic Review Board at the May 2018 meeting the following revisions are being proposed for consideration.

The building has been simplified with the shed dormer originally proposed at the stairwell removed and the gable roofs on the house and detached garage/ ADU replaced with lower pitched hip roofs.

These modifications achieve the required height to width ratio for bungalow style homes in the Canemah Historic District.

Further horizontal emphasis is achieved through replacement of the traditional guardrails on the porches with framed half walls and changing the lap siding at the upper level to shingle siding.

No changes to the plan are proposed in conjunction with these elevation changes from what was initially submitted.

Thank you for your assistance,



CODE RESPONSES: Provide a response to each of the review criteria below:

Describe the value and significance of the historic site;

The site is located within the Canemah Historic District. Nearby homes located at 606, 702 and 707 4th Ave and home at 803 5th Ave are all designated historic landmarks.

Describe the physical condition of the historic site;

The proposed building site is steeply sloping from 5th Ave with a relatively level area for building at the lower portion of the property. Sanborn maps up to 1925 were reviewed and no structures were shown on this property, but there is evidence that the site may have had a small structure at the proposed building area in the past.

Homes located at 606, 702 and 705 4th Ave and 803 5th Ave were all simple vernacular style homes constructed prior to 1900. See attached photos.

Describe the general compatibility of exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used with the historic site;

The proposed design of the new home and garage have a modified bungalow design. This style was selected to clearly differentiate this new home from the original earlier vernacular homes in the immediate neighborhood. The structures have a lower pitch roof than the typical vernacular style homes with a full width front porch, shed dormers and a more horizontal emphasis.

Describe pertinent aesthetic factors

The proposed buildings have a more horizontal emphasis than the more predominant vernacular style buildings in the neighborhood. The large overhangs, wide barge boards, exposed rafter tails and shallower roof pitches combined with the shed dormers are being used to create a modified bungalow design.

Bungalow style homes in Canemah are typically 1- 1 ½ stories constructed on the more level lots. This was associated with the building boom of the 1920's in this area. Nationwide there was a greater variety of the Bungalow style constructed between 1910's-1930's including hillside homes and 2 story variations. The craftsman style elements typically found in these homes; including bracketed gable ends, boxed porch columns and wide profile trim at openings have been incorporated into the proposed design.

The garage/ studio apartment building is smaller and subservient to the primary home to be consistent with the historic development pattern in the neighborhood. Contemporary building materials will be utilized in a manner to replicate historic building materials.

Describe the economic, social, environmental and energy consequences of your project

The proposed infill development will utilize the existing City infrastructure and increase the overall density of the Canemah neighborhood in a manner consistent with the original plat and existing development patterns within the historic district. As a new single family home the impact on the transportation, sewer, and water infrastructure will be minimal. The proposed structures have been sited to work with the existing topography, take advantage of views and allow for controlled storm water runoff. No natural resource areas have been identified on the property and the proposed development has been deemed safe by the geo-technical engineers and geologists retained by the Owner.

The new home will be constructed to the current Oregon State Energy Code ensuring that the home will be at least 20% more energy efficient than homes built 10 years ago and vastly more efficient than homes constructed with no insulation and site built, single pane windows more than 100 years ago.

**Design Guidelines for Alterations and Additions
Secretary of Interiors Standards for Rehabilitation**

Describe how your project accomplishes the following:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The original plat for this area was done with the intent that this be a residential neighborhood. This new single family home with detached garage is consistent with the original intent of the neighborhood and compatible with the surrounding land use.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

The historic character of this property is open space within an established residential neighborhood. This particular site is a defacto flag lot due to the unimproved street frontages on 3 sides of the property. The new buildings will be a compatible addition to the residential neighborhood, but will not be visible from any improved right of way.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The development of this site with the proposed modified bungalow buildings will differentiate it from the neighboring vernacular style historic homes constructed between 1865 and 1900. The use of contemporary materials to match the detailing common in the 1910's-20's will avoid any false sense of historical development.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

There are no portions of the property that have acquired historic significance in their own right over time.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

There is no existing structure on the property. Criterion does not apply.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

There is no existing structure on the property. Criterion does not apply.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

There is no existing structure on the property. Criterion does not apply.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

No archeological resources are known on the site. The Tribes will be notified of this proposed land use and will likely be identified as a possible archeological site. The site will be monitored during construction by the developer and If resources are discovered SHPO will be notified and resources will be protected and preserved in place to the extent possible

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

There is no existing structure on the property. Criterion does not apply.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

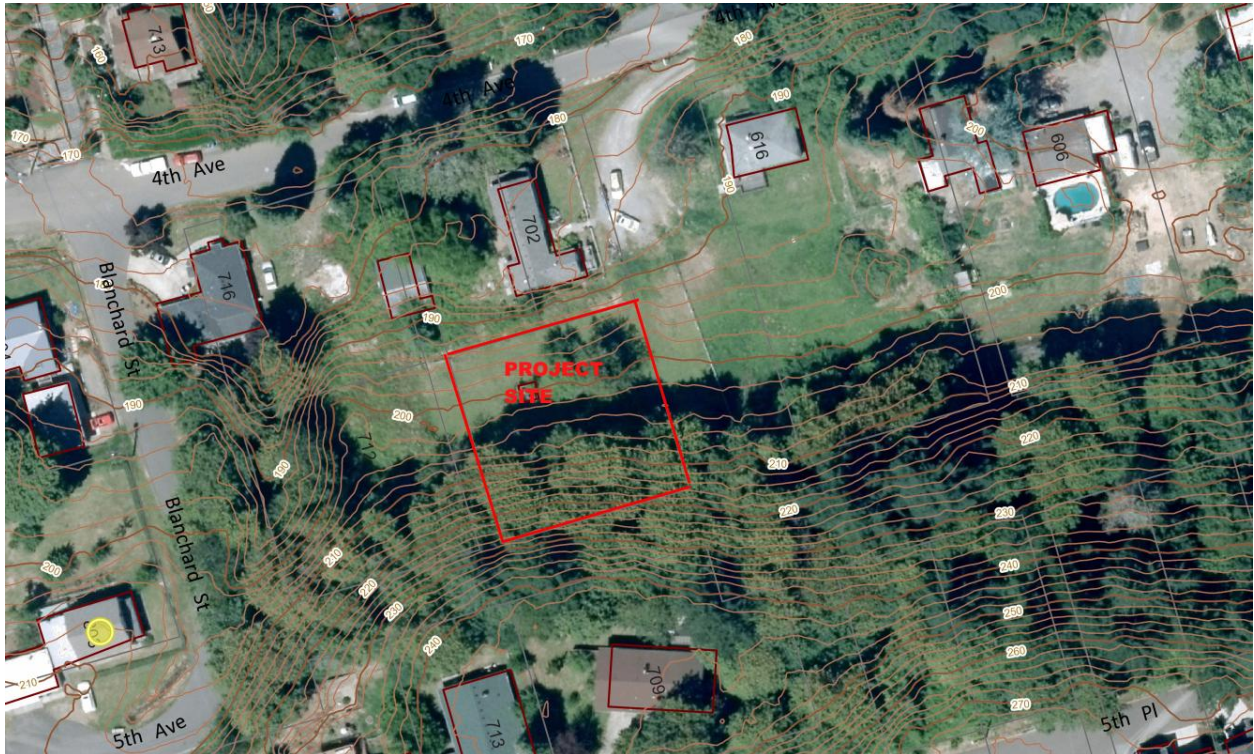
The new development proposed does not include any additions or alterations to the existing historic resource. The new construction is more than 100' from any designated historic structure and will only

ISELIN ARCHITECTS, P.C.

1307 Seventh Street Oregon City, OR 97045 p: 503-656-1942 f: 503-656-0658

be minimally visible from any improved right of ways. It will have no impact on the existing landmarks in the proximity.

PHOTOS



Aerial from Oregon City GIS

ISELIN ARCHITECTS, P.C.

1307 Seventh Street Oregon City, OR 97045 p: 503-656-1942 f: 503-656-0658



616 4th Ave- New home will share driveway off 4th Ave



702 4th Ave- A.E. Davis Hous (c. 1885) Southwest of project site

iAISELIN ARCHITECTS, P.C.

1307 Seventh Street Oregon City, OR 97045 p: 503-656-1942 f: 503-656-0658



712 4th Ave- New home to Southwest of project site



803 5th Ave- Edward and LC Nuttal House (c. 1895) South of project site

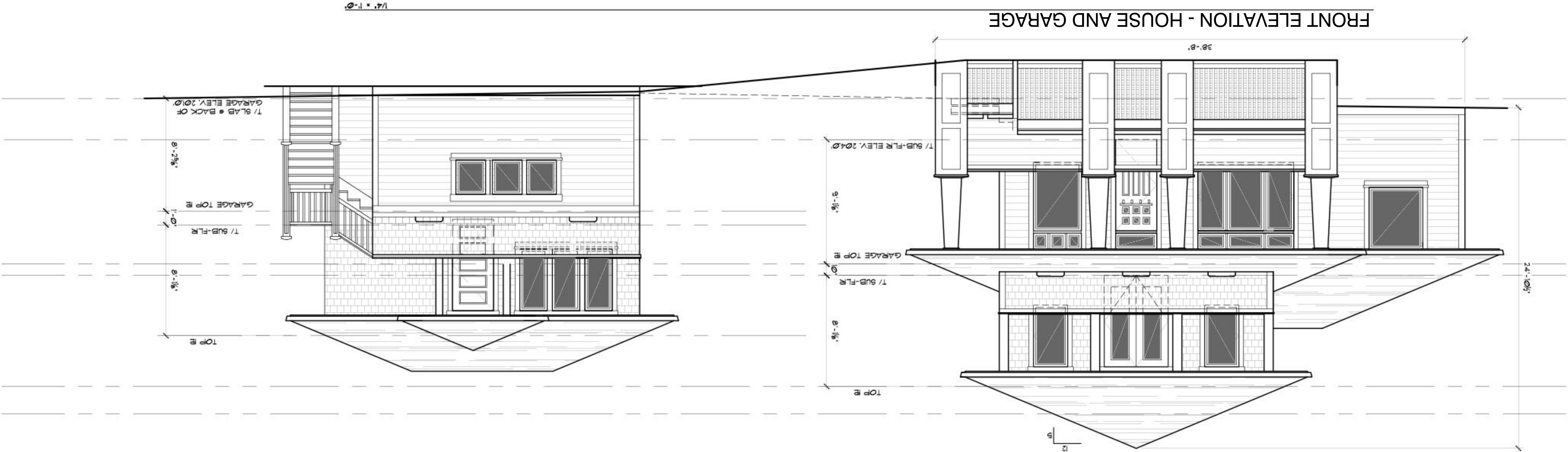
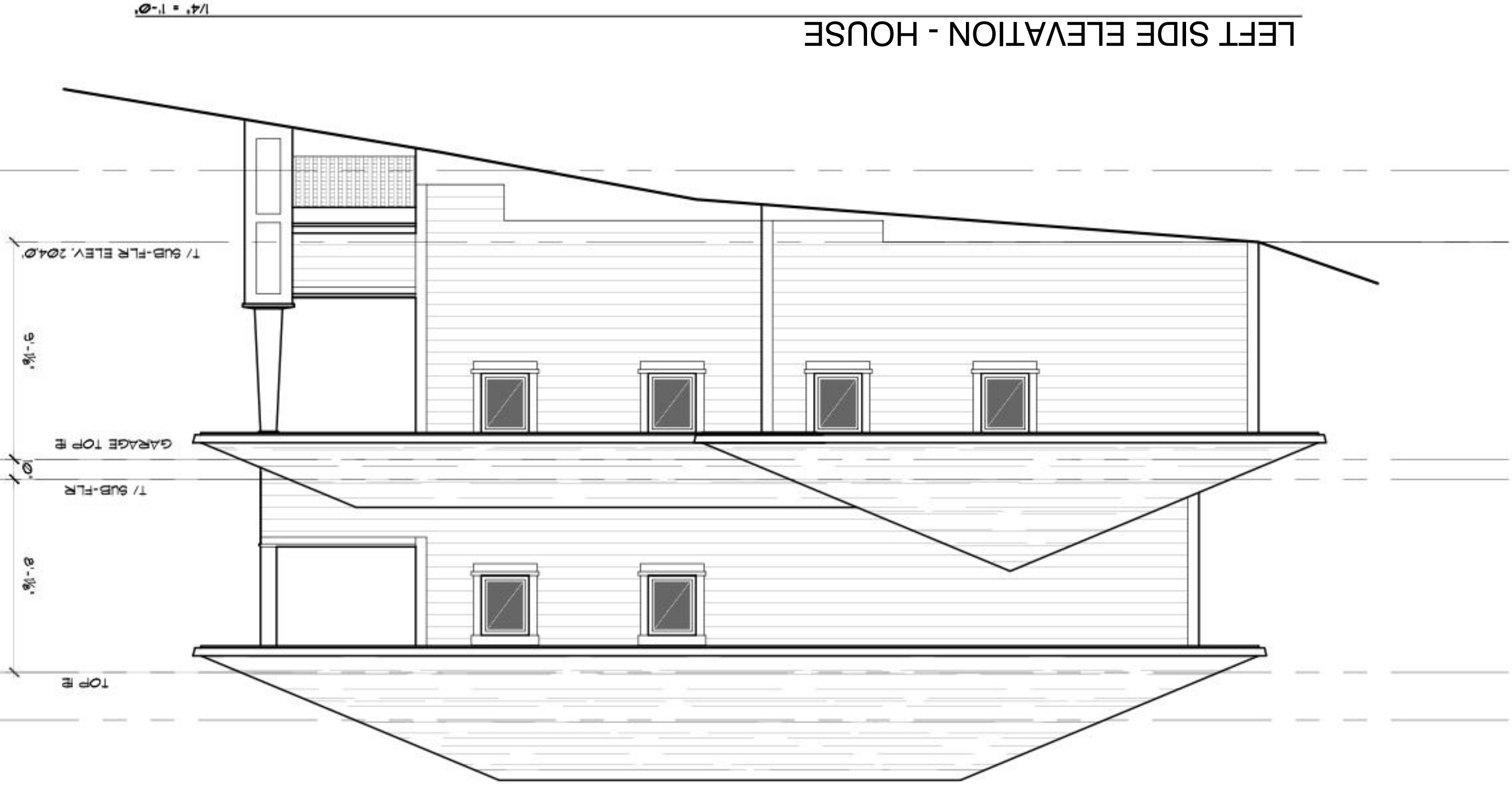
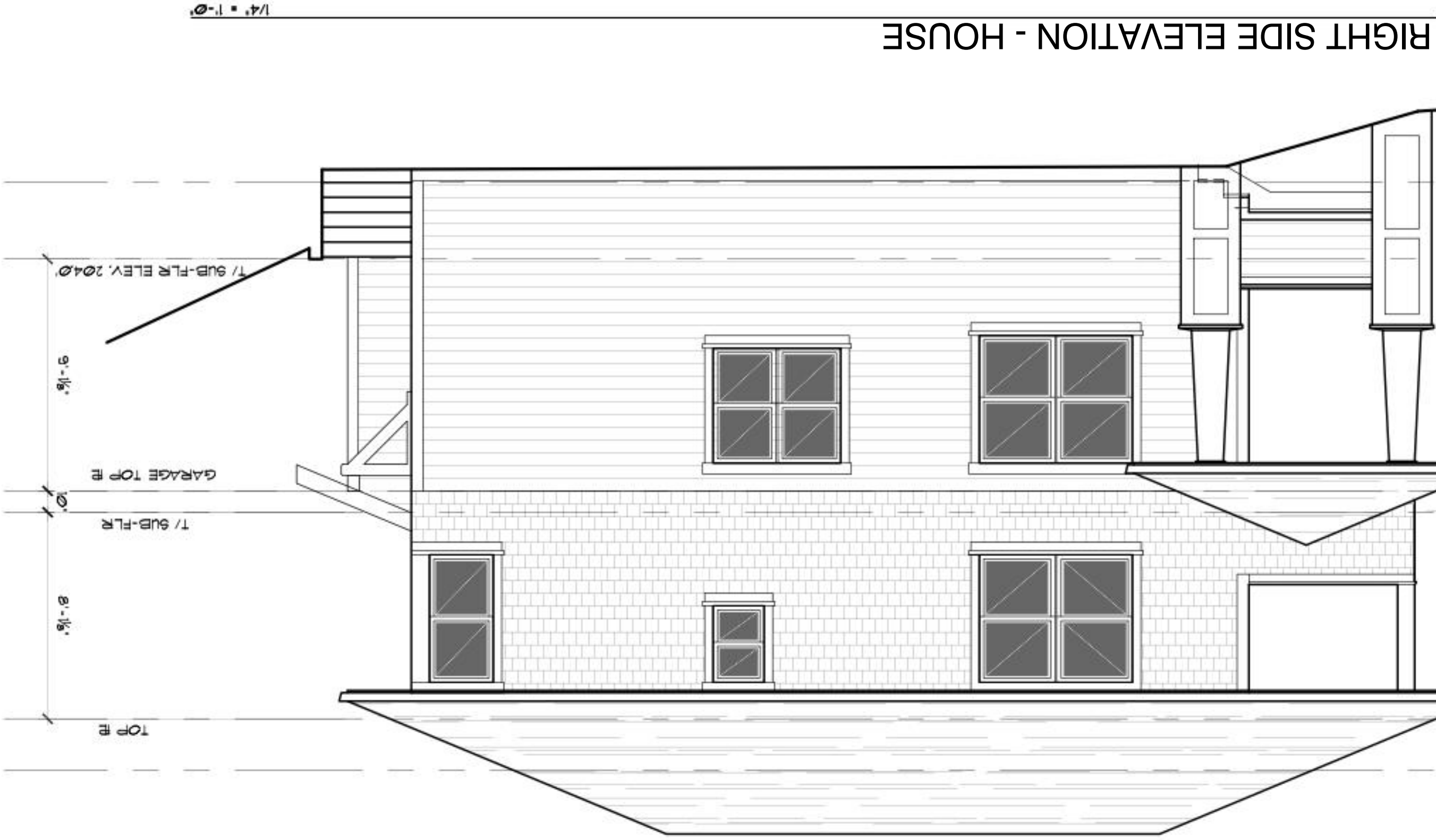
iAISELIN ARCHITECTS, P.C.

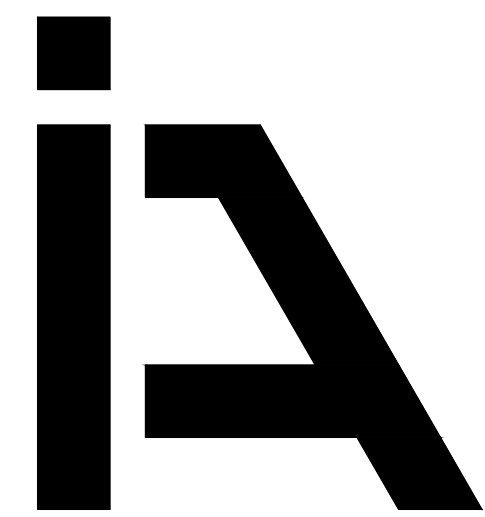
1307 Seventh Street Oregon City, OR 97045 p: 503-656-1942 f: 503-656-0658



707 4th Ave- George and Marsha Draper House (c. 1876) Across 4th Ave from Project site.

New Home and Detached Garage/ ADU for
Karen and Morris Schademan
5th Ave and Apperson St
Oregon City, OR 97045





**ISELIN
ARCHITECTS
P.C.**

1307 Seventh Street
Oregon City, OR 97045
503-656-1942 ph
503-656-0658 fax
www.iselinarchitects.com

NOT FOR
PRELIMINARY
CONSTRUCTION

New Home and Detached Garage/ ADU for
Karen and Morris Schademan

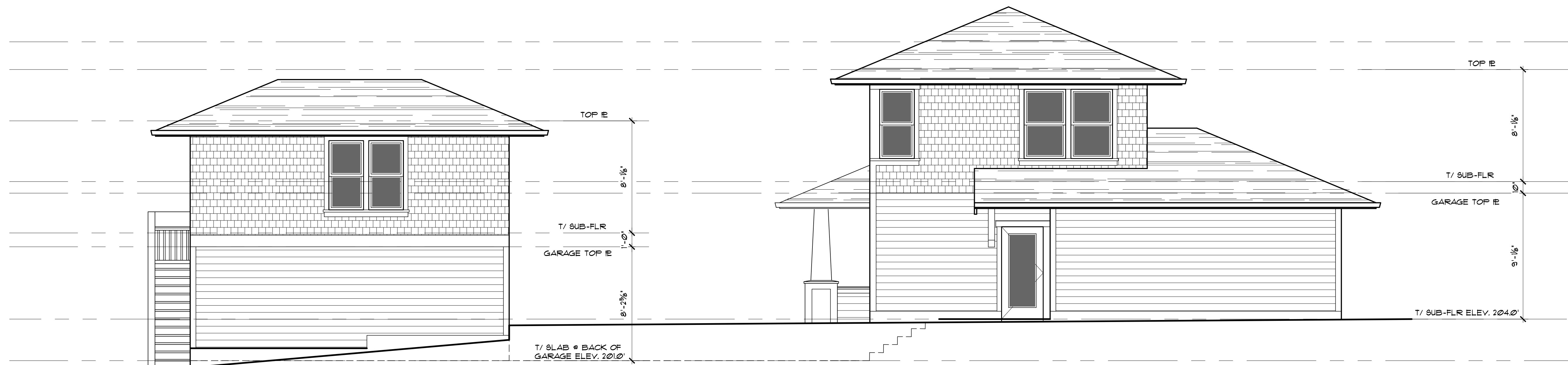
5th Ave and Apperson St
Oregon City, OR 97045

PROJ. NO. : 1773
FILE : A-ELV
DATE : 6/12/18

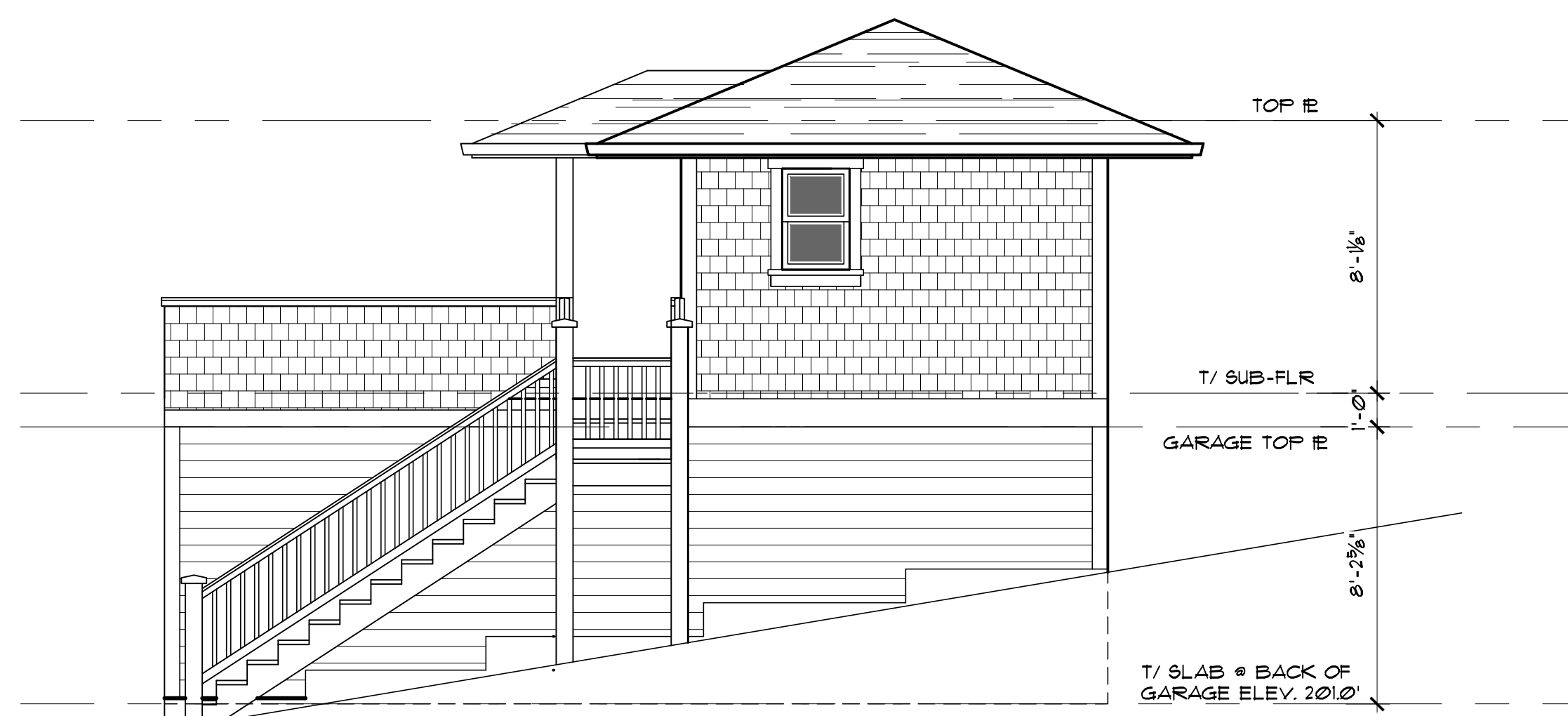
SHEET #

A2.2

PRELIM ELEVATIONS



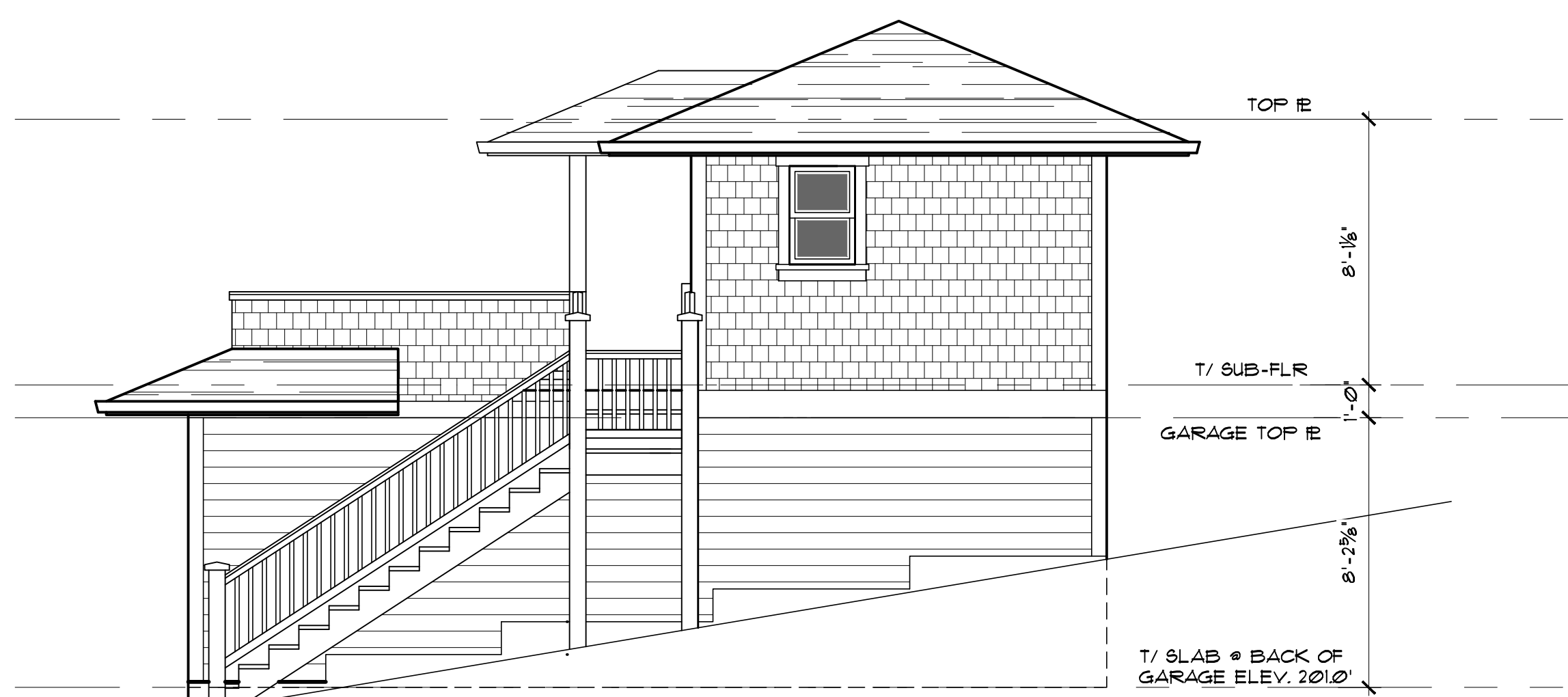
REAR ELEVATION - GARAGE AND HOUSE



RIGHT SIDE ELEVATION - GARAGE



LEFT SIDE ELEVATION - GARAGE



RIGHT SIDE ELEVATION - GARAGE W/PENT ROOF



LEFT SIDE ELEVATION - GARAGE W/ PENT ROOF







City of Oregon City Planning Dept

March 23, 2018

Attn: Christina Robertson- Gardiner

RE: New single family residence and detached garage/ ADU to be located at vacant lot between 4th and 5th Ave off Apperson St. Parcel number 3-1E-01AA-02602.

Christina,

The following narrative describes the proposed development and how it complies with the applicable Code Criteria from the Oregon City Municipal Code (OCMC).

The site is currently vacant and is proposed to be accessed by a private driveway from 4th Ave utilizing the unimproved Right of Way of the platted Apperson St. The site is steeply sloping downhill from 5th Ave toward 4th with a fairly level section at the center of the property where development is proposed. A geo-technical report was completed on April 19, 2018 and finds the site to be suitable for the proposed development.

The proposed development will consist of a new 1600 s.f., two story single family home and a detached 588 s.f. garage with a 292 s.f. studio apartment above the garage.

The buildings have been designed as modified 2 story bungalow structures with style elements per the guidelines for the Canemah Historic District.

A preservation incentive is being sought with this application to reduce the 9' side yard setback to the west on the side of the unimproved alley. We are requesting this side yard setback be reduced to 5' rather than pursuing a vacation of the unimproved alley. This will allow for better vehicle maneuvering area on site and a larger landscape buffer from the home to the driveway.

CODE RESPONSES: Provide a response to each of the review criteria below:

Describe the value and significance of the historic site;

The site is located within the Canemah Historic District. Nearby homes located at 606, 702 and 707 4th Ave and home at 803 5th Ave are all designated historic landmarks.

Describe the physical condition of the historic site;

The proposed building site is steeply sloping from 5th Ave with a relatively level area for building at the lower portion of the property. Sanborn maps up to 1925 were reviewed and no structures were shown on this property, but there is evidence that the site may have had a small structure at the proposed building area in the past.

Homes located at 606, 702 and 705 4th Ave and 803 5th Ave were all simple vernacular style homes constructed prior to 1900. See attached photos.

Describe the general compatibility of exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used with the historic site;

The proposed design of the new home and garage have a modified bungalow design. This style was selected to clearly differentiate this new home from the original earlier vernacular homes in the immediate neighborhood. The structures have a lower pitch roof than the typical vernacular style homes with a full width front porch, shed dormers and a more horizontal emphasis.

Describe pertinent aesthetic factors

The proposed buildings have a more horizontal emphasis than the more predominant vernacular style buildings in the neighborhood. The large overhangs, wide barge boards, exposed rafter tails and shallower roof pitches combined with the shed dormers are being used to create a modified bungalow design.

Bungalow style homes in Canemah are typically 1- 1 ½ stories constructed on the more level lots. This was associated with the building boom of the 1920's in this area. Nationwide there was a greater variety of the Bungalow style constructed between 1910's-1930's including hillside homes and 2 story variations. The craftsman style elements typically found in these homes; including bracketed gable ends, boxed porch columns and wide profile trim at openings have been incorporated into the proposed design.

The garage/ studio apartment building is smaller and subservient to the primary home to be consistent with the historic development pattern in the neighborhood. Contemporary building materials will be utilized in a manner to replicate historic building materials.

Describe the economic, social, environmental and energy consequences of your project

The proposed infill development will utilize the existing City infrastructure and increase the overall density of the Canemah neighborhood in a manner consistent with the original plat and existing development patterns within the historic district. As a new single family home the impact on the transportation, sewer, and water infrastructure will be minimal. The proposed structures have been sited to work with the existing topography, take advantage of views and allow for controlled storm water runoff. No natural resource areas have been identified on the property and the proposed development has been deemed safe by the geo-technical engineers and geologists retained by the Owner.

The new home will be constructed to the current Oregon State Energy Code ensuring that the home will be at least 20% more energy efficient than homes built 10 years ago and vastly more efficient than homes constructed with no insulation and site built, single pane windows more than 100 years ago.

**Design Guidelines for Alterations and Additions
Secretary of Interiors Standards for Rehabilitation**

Describe how your project accomplishes the following:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The original plat for this area was done with the intent that this be a residential neighborhood. This new single family home with detached garage is consistent with the original intent of the neighborhood and compatible with the surrounding land use.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

The historic character of this property is open space within an established residential neighborhood. This particular site is a defacto flag lot due to the unimproved street frontages on 3 sides of the property. The new buildings will be a compatible addition to the residential neighborhood, but will not be visible from any improved right of way.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The development of this site with the proposed modified bungalow buildings will differentiate it from the neighboring vernacular style historic homes constructed between 1865 and 1900. The use of contemporary materials to match the detailing common in the 1910's-20's will avoid any false sense of historical development.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

There are no portions of the property that have acquired historic significance in their own right over time.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

There is no existing structure on the property. Criterion does not apply.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

There is no existing structure on the property. Criterion does not apply.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

There is no existing structure on the property. Criterion does not apply.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

No archeological resources are known on the site. The Tribes will be notified of this proposed land use and will likely be identified as a possible archeological site. The site will be monitored during construction by the developer and If resources are discovered SHPO will be notified and resources will be protected and preserved in place to the extent possible

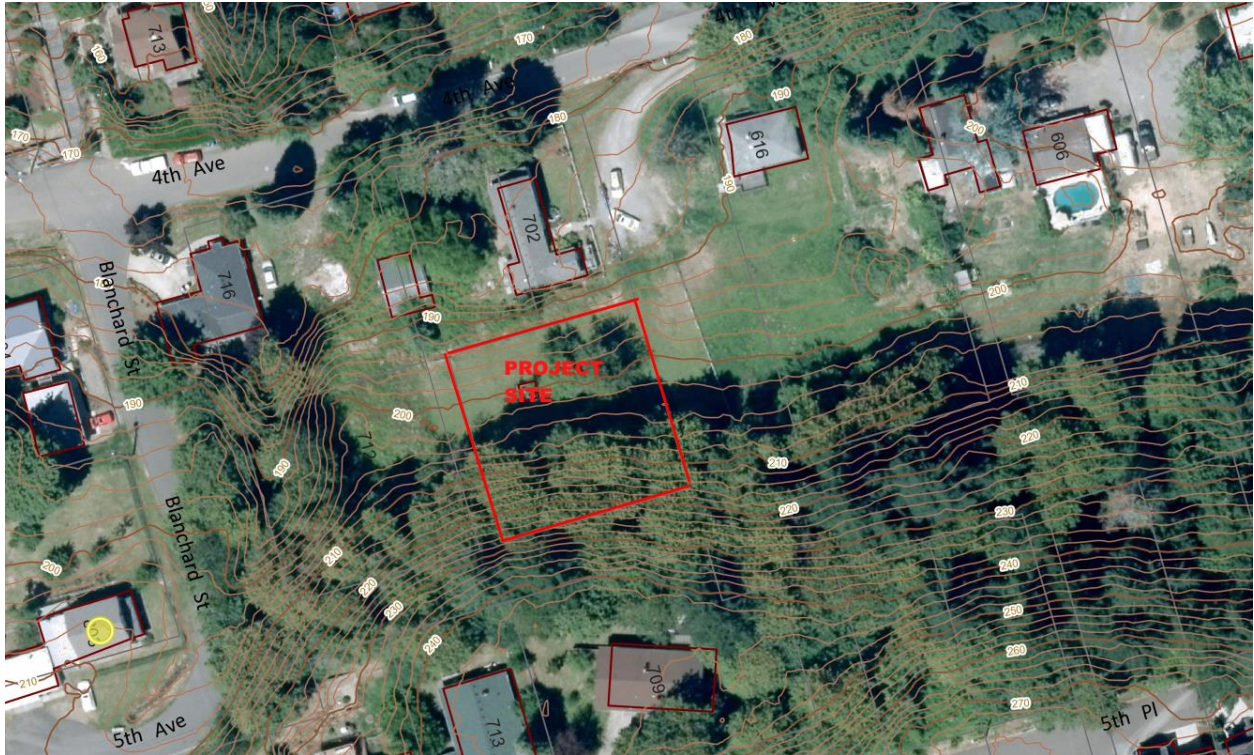
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

There is no existing structure on the property. Criterion does not apply.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The new development proposed does not include any additions or alterations to the existing historic resource. The new construction is more than 100' from any designated historic structure and will only be minimally visible from any improved right of ways. It will have no impact on the existing landmarks in the proximity.

PHOTOS



Aerial from Oregon City GIS

ISELIN ARCHITECTS, P.C.

1307 Seventh Street Oregon City, OR 97045 p: 503-656-1942 f: 503-656-0658



616 4th Ave- New home will share driveway off 4th Ave



702 4th Ave- A.E. Davis Hous (c. 1885) Southwest of project site

iAISELIN ARCHITECTS, P.C.

1307 Seventh Street Oregon City, OR 97045 p: 503-656-1942 f: 503-656-0658



712 4th Ave- New home to Southwest of project site



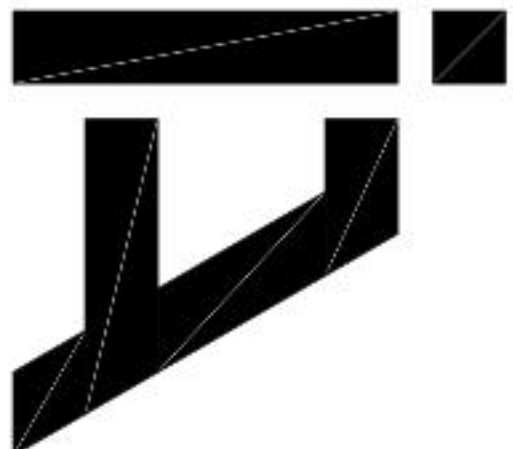
803 5th Ave- Edward and LC Nuttal House (c. 1895) South of project site

iAISELIN ARCHITECTS, P.C.

1307 Seventh Street Oregon City, OR 97045 p: 503-656-1942 f: 503-656-0658



707 4th Ave- George and Marsha Draper House (c. 1876) Across 4th Ave from Project site.



**ISELIN
ARCHITECTS
P.C.**
1307 Seventh Street
Oregon City, OR 97045
503-656-1942 ph
503-656-0658 fax
www.iselinarchitects.com

NOT FOR
PRELIMINARY
CONSTRUCTION

New Home and Detached Garage/ ADU for
Karen and Morris Schademan

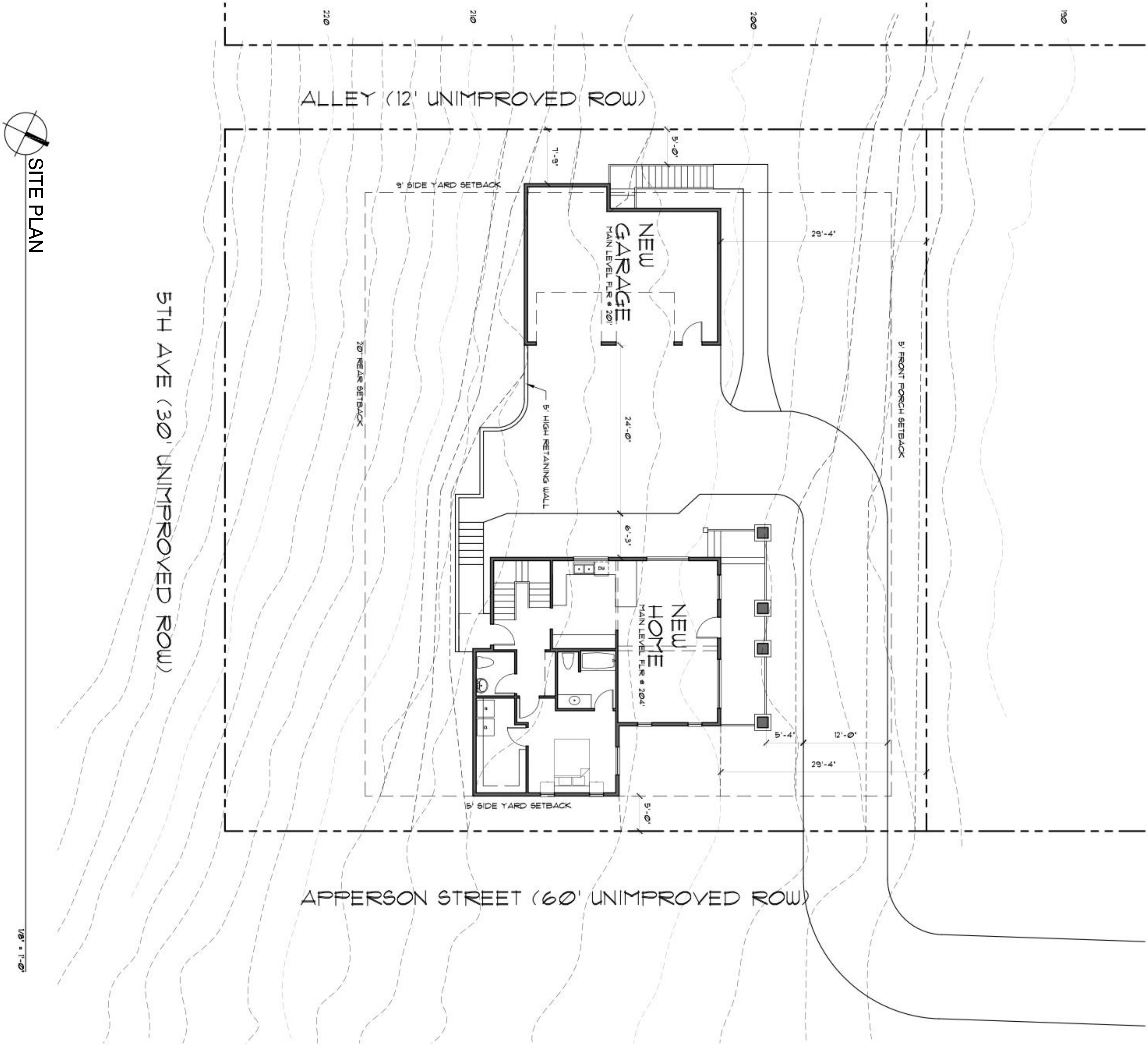
5th Ave and Apperson St
Oregon City, OR 97045

PROJ. NO.: 1773
FILE: X-XX
DATE: XXXXXX

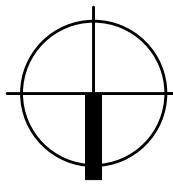
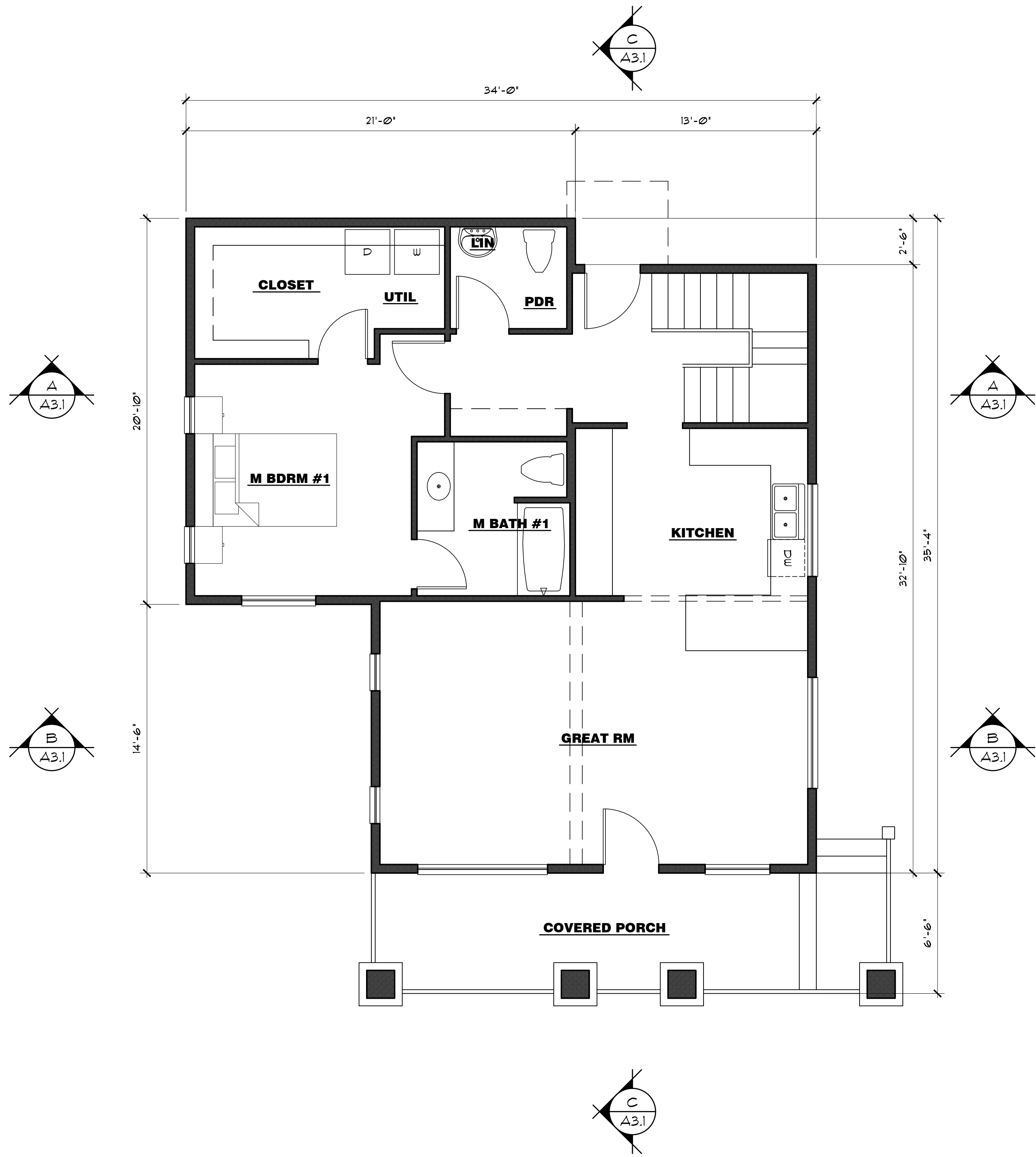
SHEET #

A1.0

SITE PLAN



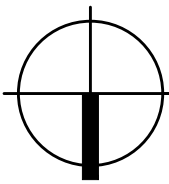
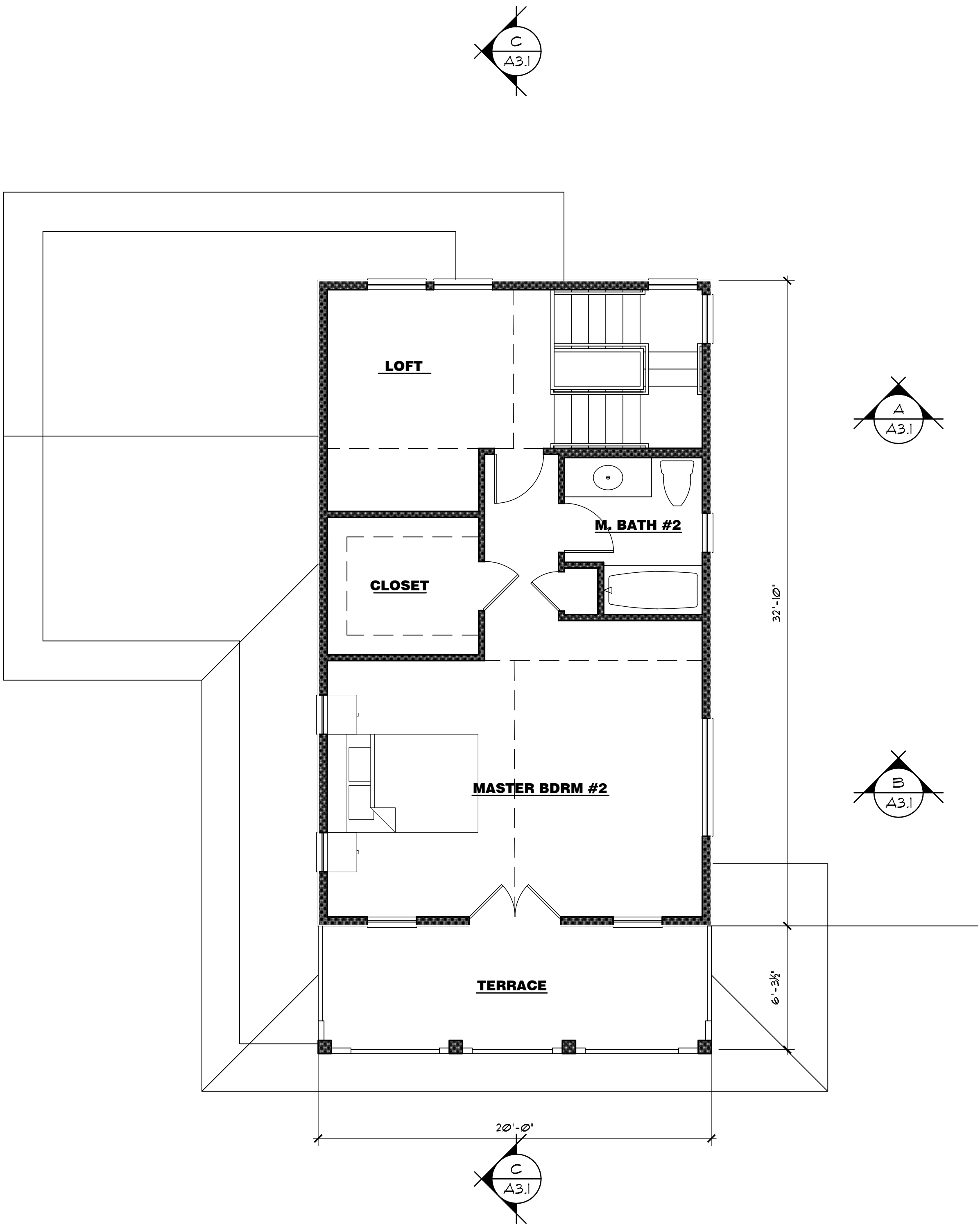
VICINITY MAP
NO SCALE



MAIN LEVEL FLOOR PLAN

1024 S.F.

1/4" = 1'-0"



UPPER LEVEL FLOOR PLAN

588 S.F.

1/4" = 1'-0"



**ISELIN
ARCHITECTS
P.C.**

1307 Seventh Street
Oregon City, OR 97045
503-656-1942 ph
503-656-0658 fax
www.iselinarchitects.com

NOT FOR
PRELIMINARY
CONSTRUCTION

New Home and Detached Garage/ ADU for
Karen and Morris Schademan

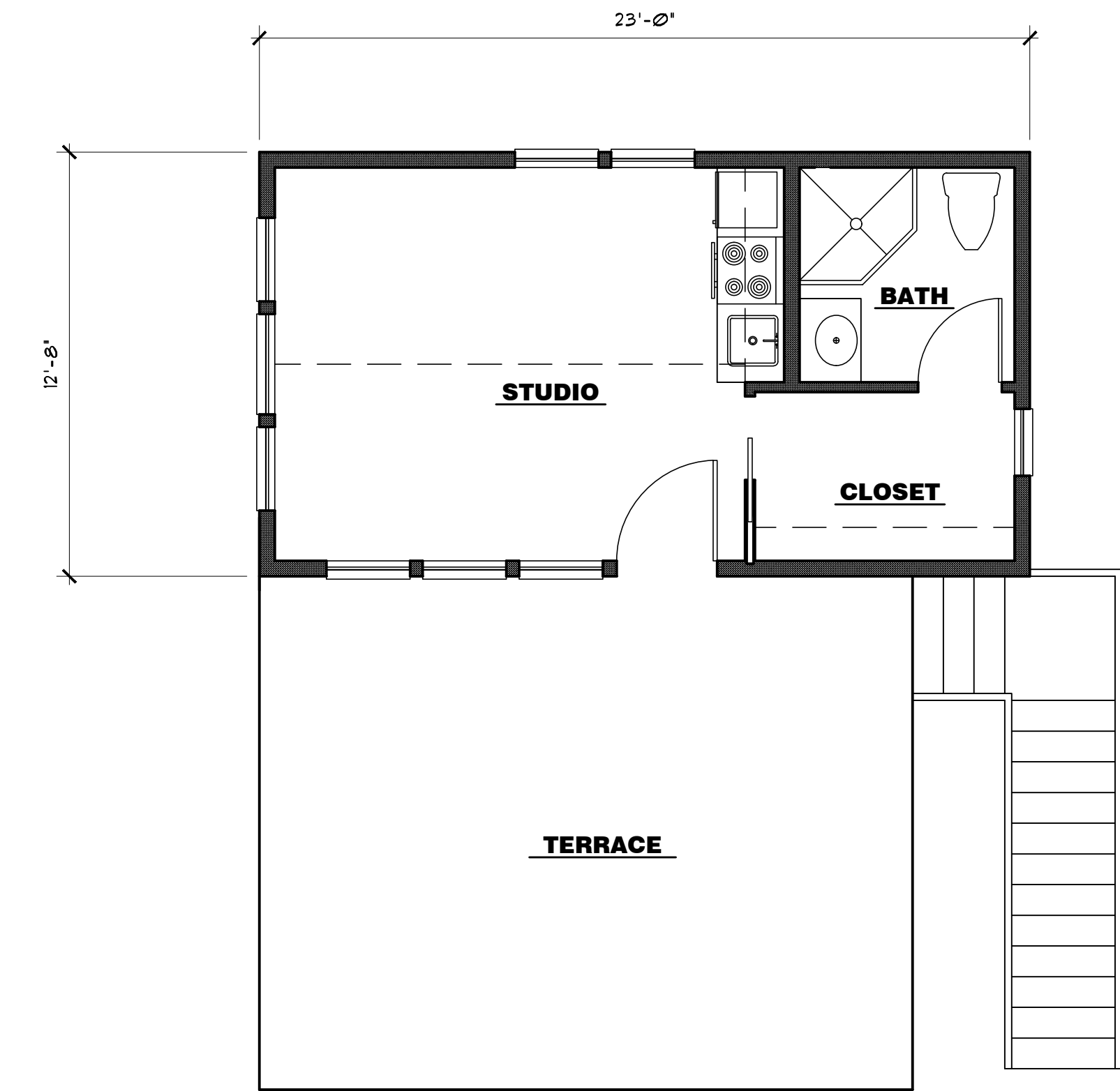
5th Ave and Apperson St
Oregon City, OR 97045

PROJ. NO. : 1773
FILE : X-XX
DATE : XX/XX/XX

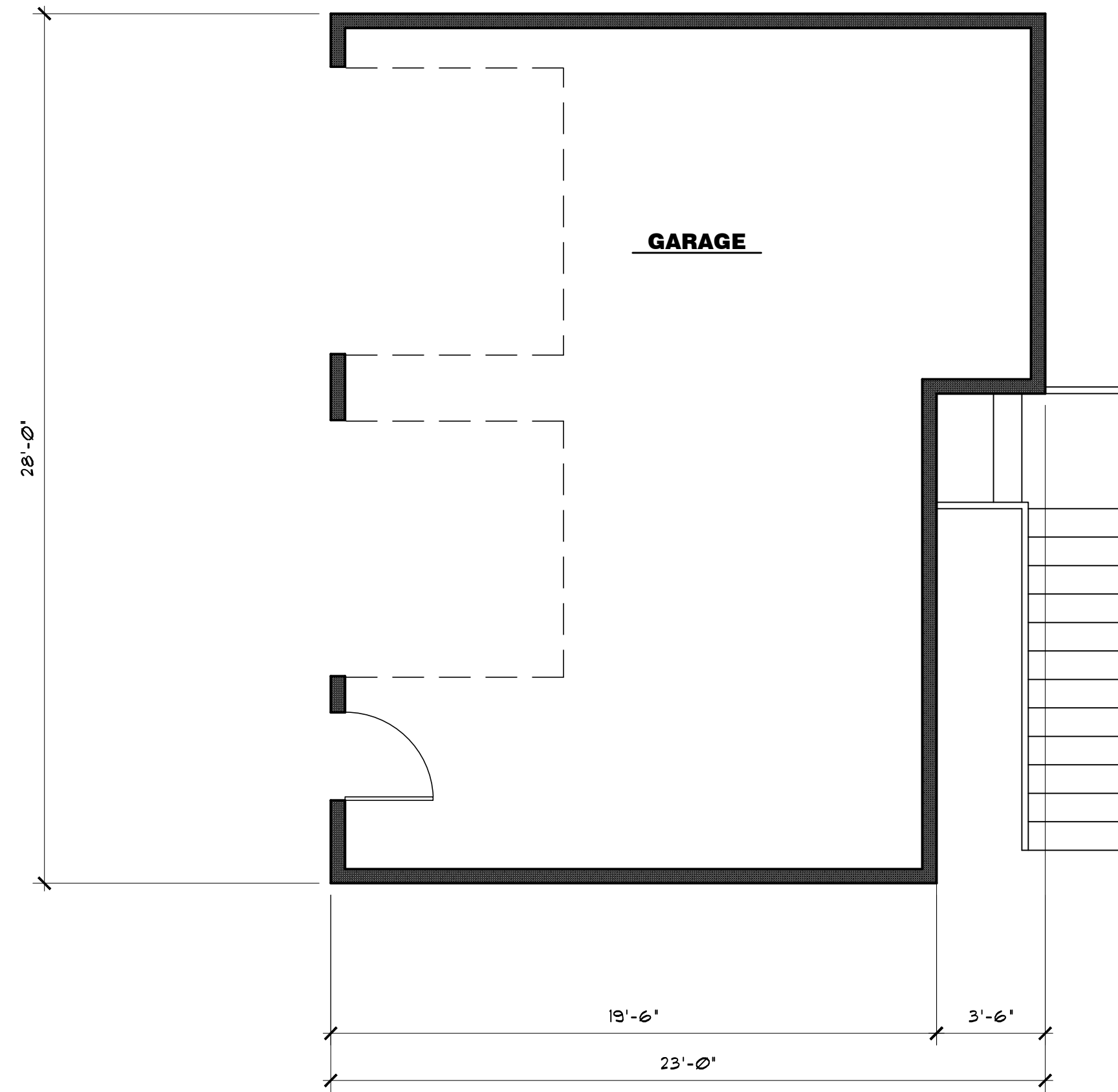
SHEET #

A1.1

PRELIM PLANS- HOUSE



UPPER LEVEL FLOOR PLAN
292 S.F. 1/4" = 1'-0"



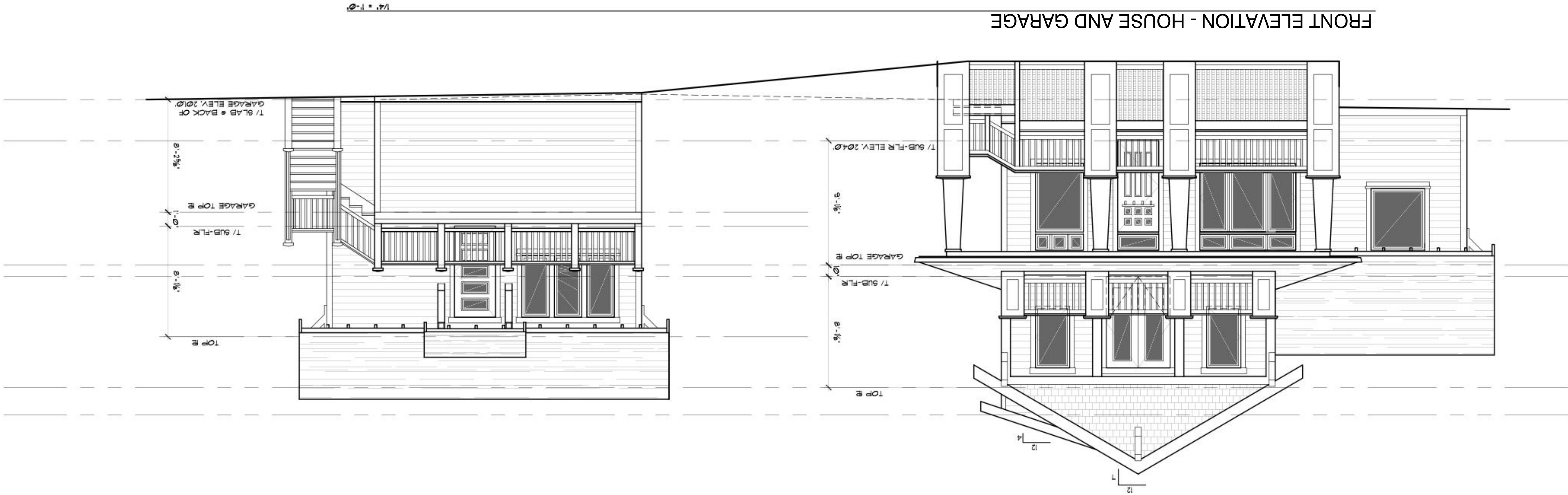
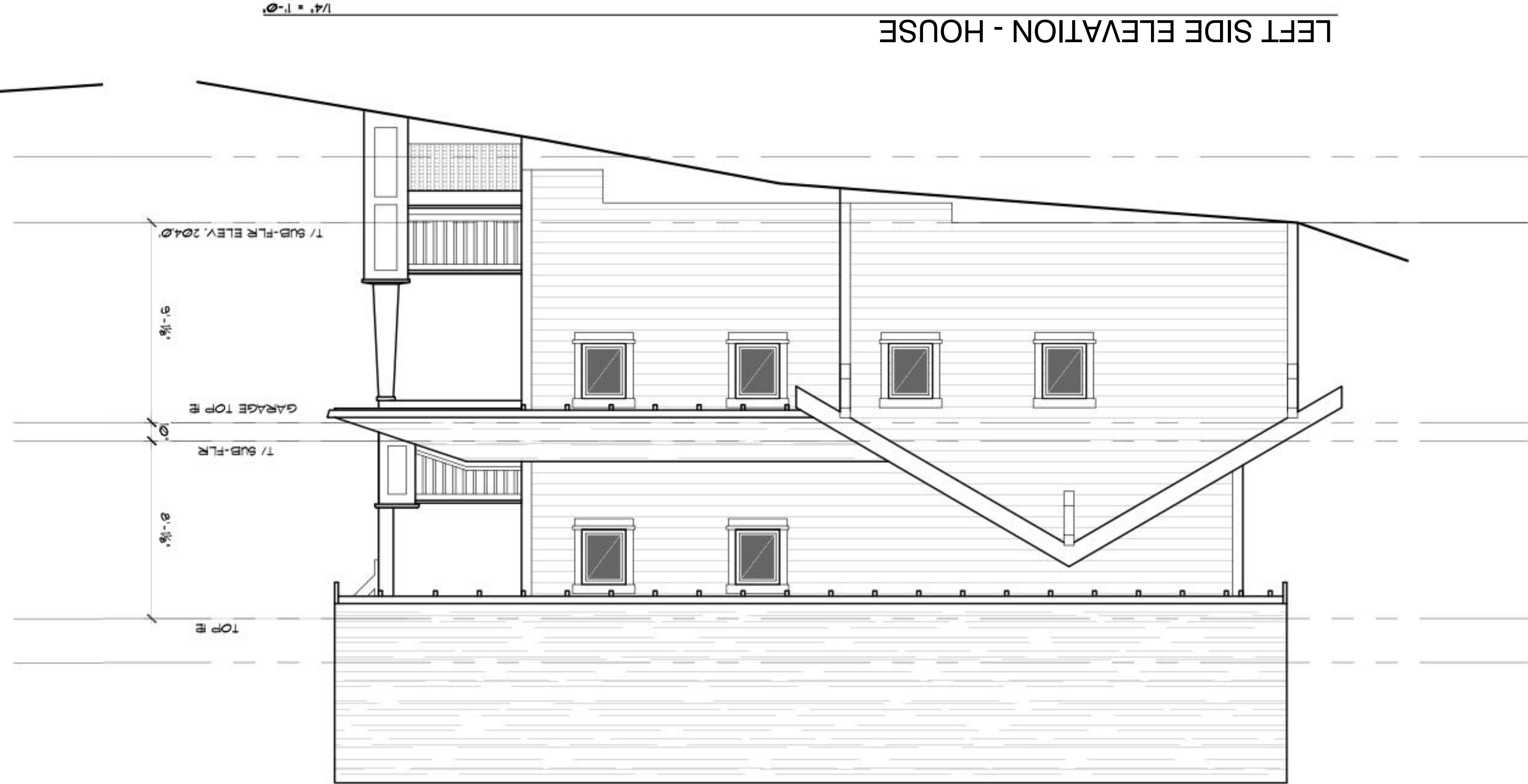
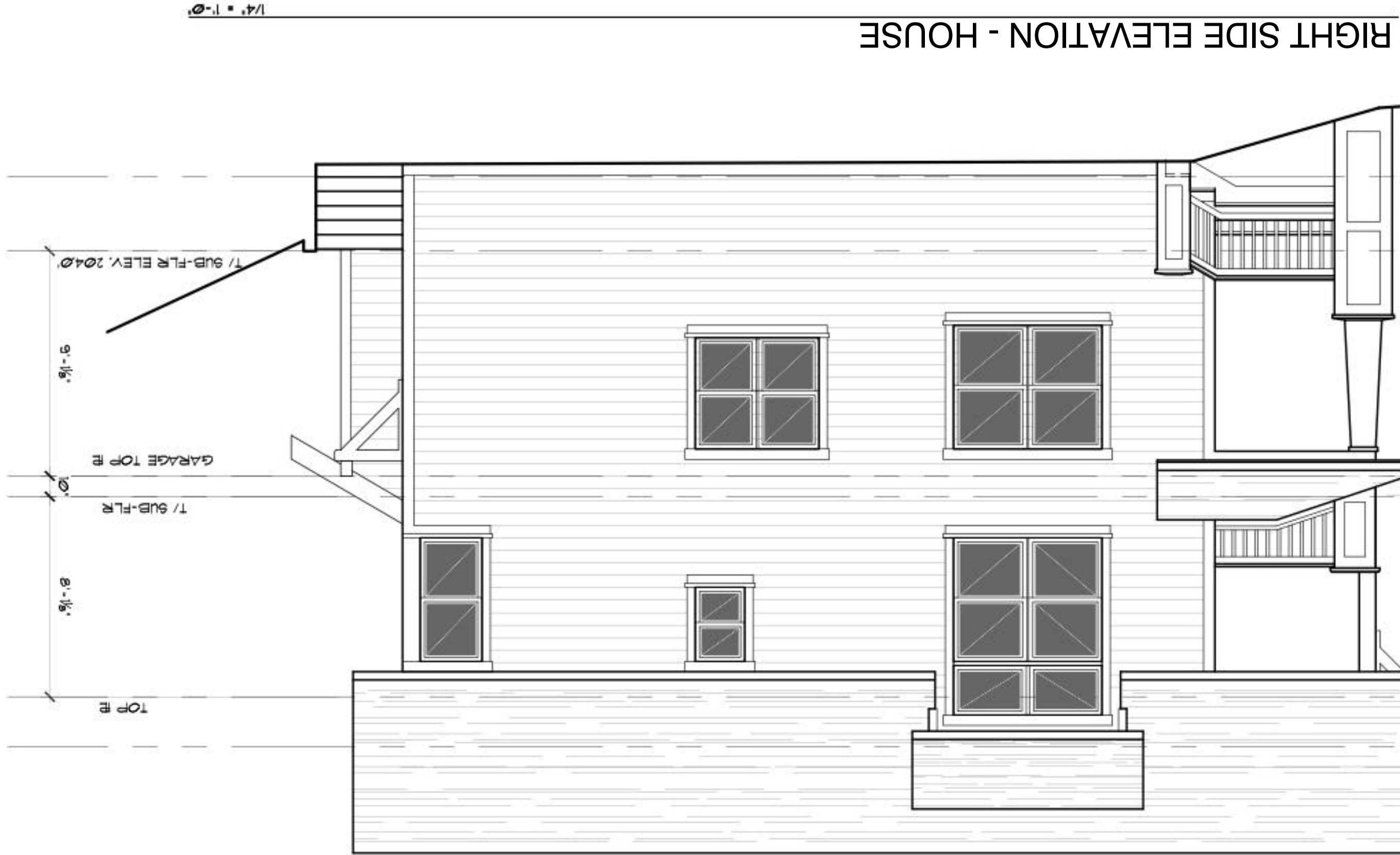
MAIN LEVEL FLOOR PLAN
588 S.F. 1/4" = 1'-0"

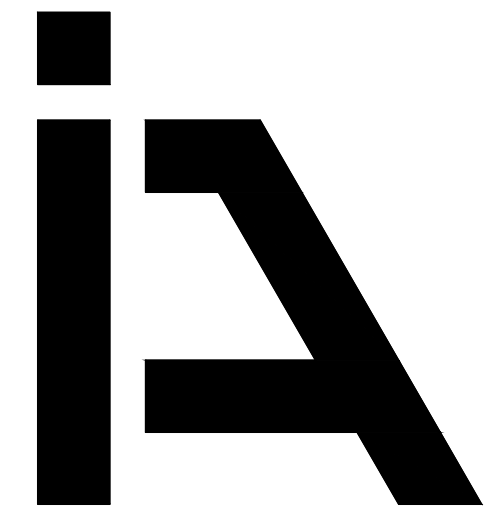
New Home and Detached Garage/ ADU for

Karen and Morris Schademan

5th Ave and Apperson St

Oregon City, OR 97045

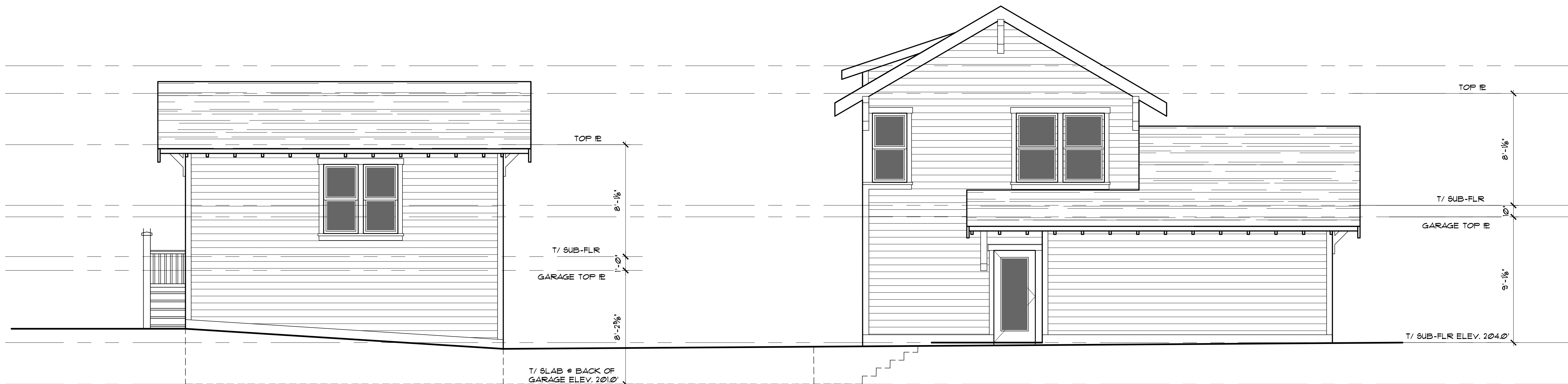




**ISELIN
ARCHITECTS
P.C.**

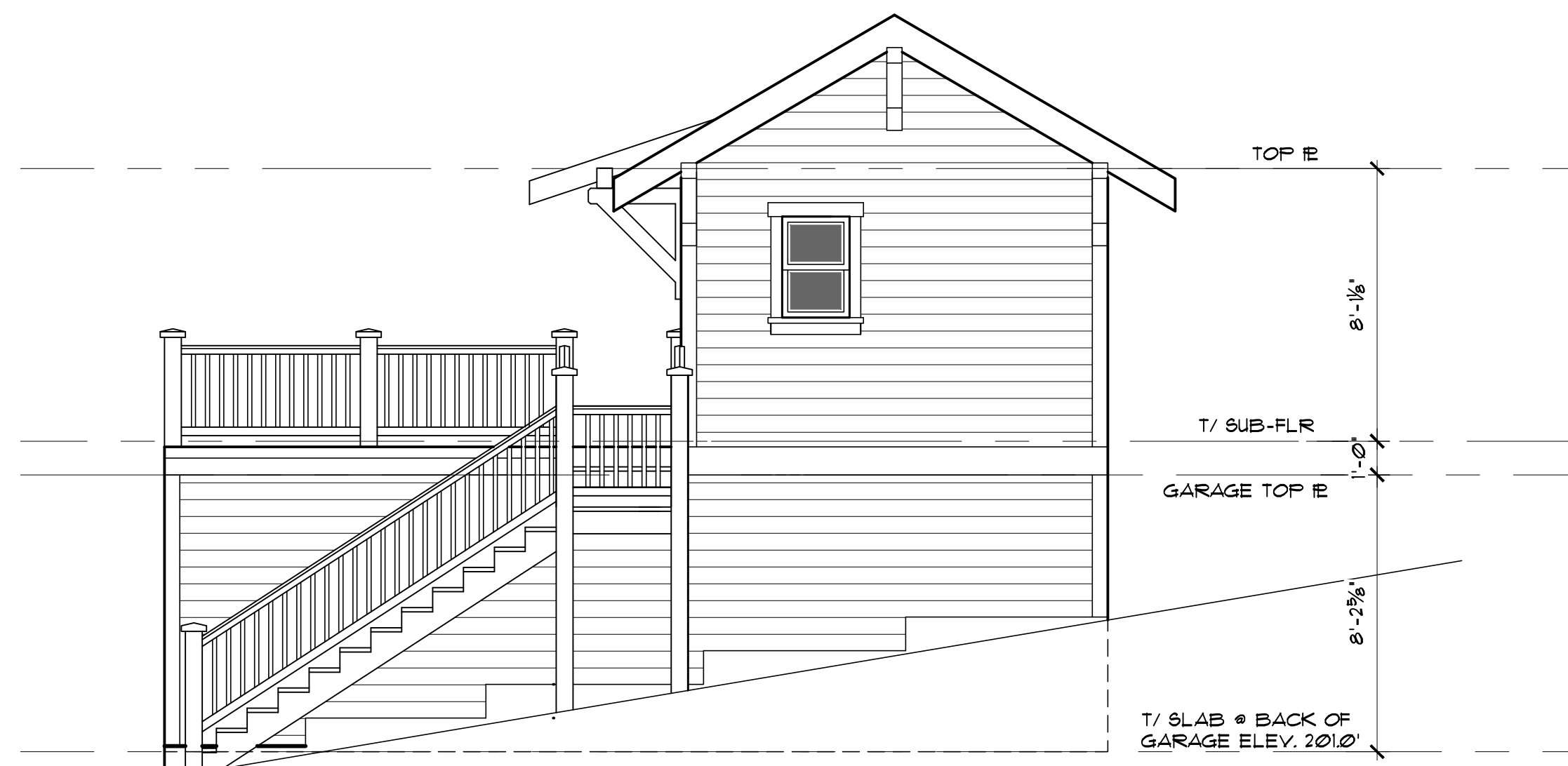
1307 Seventh Street
Oregon City, OR 97045
503-656-1942 ph
503-656-0658 fax
www.iselinarchitects.com

NOT FOR
PRELIMINARY
CONSTRUCTION



REAR ELEVATION - GARAGE AND HOUSE

1/4" = 1'-0"



RIGHT SIDE ELEVATION - GARAGE

1/4" = 1'-0"



LEFT SIDE ELEVATION - GARAGE

1/4" = 1'-0"

New Home and Detached Garage/ ADU for
Karen and Morris Schademan

5th Ave and Apperson St
Oregon City, OR 97045

PROJ. NO. : 1773
FILE : A-ELV
DATE : XX/XX/XX

SHEET #

A2.2

PRELIM ELEVATIONS

BUNGALOW

The second most common architectural style in Canemah is the Bungalow, built between 1909-1928 in the later portion of the historic period. While many of the homes in this style are located on the river side of McLoughlin Boulevard, others are scattered on the hillside up to 4th Street, but generally on more level lots. Use of this style south of 3rd Street requires analysis of adjacent context houses to ensure necessary variety. Important style characteristics as found on houses in the Canemah District to be used for new construction are noted below.



Built: 1920

CHARACTERISTICS OF THE STYLE

Site

- No uniform front setback; South of 3rd Street: houses may face front or side depending on topography, and may be irregularly situated.
- Lots range from 50x100 to 100x100 and contain a single house.
- Properties edges often not defined; Where fenced, primarily low slat or picket at front with side or partial returns.
- Planting: South of 3rd Street: forest setting, native and ornamental plantings form visual screen and sense of privacy; Elsewhere, lawn, and planted area around buildings.
- House Placement: to suit the existing topography and most level lot portion especially south of 3rd Street
- Retaining walls: stone, mortared or stacked basalt, or concrete south of 3rd Street, especially in proximity with street.
- Garages: Not found historically; informal graveled parking next to street or along house; New garages to be located along side or behind house. Where topography is a concern, locate garage offset from building primary façade, close to street with direct access.
- Accessory Buildings: detached, along side or behind house and located to allow use of particular function.
- Streets: South of 3rd Street: narrow, without curbs or sidewalks; casual pedestrian paths and connecting stairs are encouraged.

Building Form

- Building form is difficult to modify for additions, but has versatile floor plan.
- More emphasis on the horizontal than Vernacular; this extends into porch, dormer and window design; more 'ground hugging'.
- Shape: floor plans are either rectangular, or square
- Height: One, or more often one-and-a-half stories high; possible basement.
- Proportions: Height to width approximately 1:1½; Height to Depth: 1: no more than 2 for main building portion not including front porch.
- Roof: Low-pitched (6:12 minimum) gable roof; front or side facing.
- Bays: possible single story, cantilevered, and rectangular located on side of house.
- Porch: Prominent front porch, roof supported with simple posts (less bulky than in McLoughlin); roof often continues down to create cover over porch; at main story only.



Built: 1916



Built: 1913

Design Composition

- Front façade can be symmetrical or asymmetrical
- Porch: full, not typically wrap-around front porches.
- Roof Overhang: wide, over-hanging eaves and exposed rafter tails; decorative knee brackets under eaves.
- Dormers: single front facing; with lower slope gable or shed roofs
- Chimneys: at interior or projecting on side of house, usually brick.
- Siding: horizontal board siding; typically bevel profile (occasionally shiplap), shingle siding; or a combination, such as horizontal boards on the first floor with shingles on the second floor, or just in the gable or dormer.
- Windows: double-hung; 1:1; large fixed window flanked by two smaller double-hung windows.
- Windows At Dormers: smaller, often grouped at shed dormers; fixed or casement style where smaller.
- Finishes: generally earth tones; no white doors or windows.



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Staff Report

File Number: PC 18-085

Agenda Date:

Status: Draft

To: Historic Review Board

Agenda #:

From: Christina Robertson-Gardiner

File Type: Planning Item

SUBJECT:

Reducing the size of the Knute Tolleson House in conjunction with the construction of 23 new townhome style apartments onsite.

RECOMMENDED ACTION (Motion): Staff recommends that the Historic Review Board conditionally approve this application.

BACKGROUND: The file was continued from the May 22, 2018 HRB meeting.

The subject property is 1.61 acre multi-family residential property with a locally designated structure (Knute Tollefson House) located on the corner of Forsythe and Harley, high above the lower portion of Park Place. Interstate 205 and the Southern Pacific Railroad tracks are visible and audible. To the west is an industrial building, across Forsythe is an early 20th Century house and across Harley is a large vacant lot. The Abernethy Grange is located several hundred feet to the north. Houses in this area date from late 19th century to mid-20th century. The parcel slopes gently to the west. It is landscaped with huge trees, deciduous and coniferous, and ornamental shrubs.

The subject property has portions of the Geologic Hazards Overlay District and the Natural Resources Overlay District (NROD) located onsite which will be reviewed through a separate process. There are unimproved sections of City right-of-way located on the east and west side of this property. Primary access to the property is from Harley Avenue.

Site Plan and Design Review will be required for construction of the proposed townhouses. The applicant plans on submitting for this review upon completion of the Historic Review. Street Improvement will be required as part of the Site Plan and Design Review. As the historic house is set far back from the site and would not directly relate to the street improvements, nor is located within a historic district whose character is defined by lack of sidewalks, staff does not support the HRB recommending any reduction in street improvements to the Planning Division as part of this application.

BUDGET IMPACT:

Amount:

FY(s):

Funding Source:



MEMORANDUM

To: Historic Review Board
From: Christina Robertson-Gardiner, AICP, Senior Planner
Re: HR 18-03 Reducing the size of the Knute Tollefson House in conjunction with the construction of 23 new townhome style apartments onsite.
Date: June 15, 2018

This memo is a supplement to the May staff report providing additional background on the requirements for noticing projects that may have the potential for archeological resources and provide staff response to comments received from Alan Redbourn.

Alan Redbourn Comments

1. I propose they change their design to provide adequate parking (2 spots) for each resident. This means an additional 15 parking spots within the complex.
 - a. There will likely be at least 15 resident cars looking for parking plus additional guests looking for parking (see parking Estimation in Appendix).
 - i. This will mean lots of street parking, bringing the apartment residents into the neighborhood at all hours of the day and night.
 - b. I would like there to be additional guest parking within the complex as well.
 - i. The proposed 9 parking spots on Harley could be for guests but I would prefer them within the complex.

Staff Response: OCMC 17.62 Site Plan and Design Review governs the minimum and maximum number of parking spaces for a multi-family development. Staff is unable to identify a criteria in OCMC 17-40 Historic Overlay that could require less or more parking than what is regulated.

2. Harley will need to be widened to support 2 way traffic, parked cars and a sidewalk (see image of current road in appendix)
 - a. It looks as though they have planned adding some parking on Harley but I am no expert on the proposed design. I don't see the street being widened
 - i. I do not count street parking as part of the 2 spots per resident parking.
 - b. Harley will also need a curb/sidewalk to support the foot traffic generated by parking vehicles, guests, and the residents.
 - i. This will further require the road to be widened.

Staff Response: OCMC 17.62 Site Plan and Design Review governs how much dedication and sidewalk improvement that applicant will be required to dedicate on both Forsyth and Harley Avenue for a multi-family development. Staff is unable to identify how the addition of sidewalks and dedication to either street would adversely affect the Landmark.

3. Forsythe will need a crosswalk as people will be jaywalking a dangerous turn at all hours of the day and night

- a. People turn right up Forsythe from Clackamas River Dr. very quickly, it's often a race course for many drivers.
- b. Coming towards Clackamas River Dr., Forsythe is also from a turn and downhill which makes stopping difficult.
- c. This is a safety concern for everyone

Staff Response: OCMC 17.62 Site Plan and Design Review governs if the applicant is required to install a crosswalk on an abutting street as part of a multi-family development review. Staff is unable to identify how the addition of a crosswalk would adversely affect the Landmark.

- 4. The residents will need some common areas
 - a. I don't see any common areas in the design. If anyone wants to be outside of their unit, they will be in the neighborhood.

Staff Response: OCMC 17.62 Site Plan and Design Review governs the size of common open space as part of a multi-family development review. Staff is unable to identify how abutting open space near the Landmark would adversely affect the Landmark. Any new construction within the Landmark boundary will need to be further reviewed by staff for compatibility if it is under 200 square feet and the Historic Review Board if it is over 200 square feet.

- 5. The residents will need designated smoking areas
 - a. Most new apartments do not allow smoking which means people that want to smoke will do so in the surrounding neighborhood at all hours.

Staff Response: Oregon City Municipal Code does not regulate smoking areas.

17.040.060.C. Archeological Monitoring Recommendation. *For all projects that will involve ground disturbance, the applicant shall provide,*

1. *A letter or email from the Oregon State Historic Preservation Office Archaeological Division indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the Oregon State Historic Preservation Office and that the Oregon State Historic Preservation Office had not commented within forty-five days of notification by the applicant; and*
2. *A letter or email from the applicable tribal cultural resource representative of the Confederated Tribes of the Grand Ronde, Confederated Tribes of the Siletz, Confederated Tribes of the Umatilla, Confederated Tribes of the Warm Springs and the Confederated Tribes of the Yakama Nation indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the applicable tribal cultural resource representative and that the applicable tribal cultural resource representative had not commented within forty-five days of notification by the applicant.*

If, after forty-five days notice from the applicant, the Oregon State Historic Preservation Office or the applicable tribal cultural resource representative fails to provide comment, the city will not require the letter or email as part of the completeness review. For the purpose of this section, ground disturbance is defined as the movement of native soils.

Staff Response: A notice was sent to the above contacts upon submittal of a pre-application conference (PA 17-73/ December 19, 2017), more than 45 days before completion of this application. No comments were received from any party identified above.

When letters are sent to the city because an identified archeological resource is on or near a property applying for development approvals, there is often a request for the applicant to prepare an inadvertent discovery plan. While Oregon City does not have specific archeological criteria, we pass this information onto the owner and neighbors to encourage them to follow the recommend action because failure to plan for an archeological discovery may delay the construction process.

Regulation of archeological resources are done at the State and Federal level. More information can be found at: https://www.oregon.gov/oprd/HCD/ARCH/pages/arch_laws.aspx

Exhibit:

- A. Archaeological Sites on Private Lands FAQ bulletin.

ARCHAEOLOGICAL SITES ON PRIVATE LANDS

FREQUENTLY ASKED QUESTIONS

MAY 2012

LAWS:

What laws currently protect archaeological sites in Oregon on private lands?

There are three main laws in the state of Oregon that protect archaeological sites. [ORS 97.740](#) protects all Native American graves and associated artifacts. Under [ORS 358.905-358.961](#), significant archaeological sites are protected on both non-federal public (state, county, city) and private lands. The law also provides definitions for *archaeological objects*, *sites*, *significance*, *sacred objects* and *objects of cultural patrimony*. The process for conducting an archaeological excavation or removal of artifacts from a site is defined in [ORS 390.235](#). A person may not ***knowingly or intentionally excavate, injure, destroy or alter an archaeological site*** without a permit. The associated administrative rule, [OAR 736-051-0000 to 0090](#) defines the process for applying for a permit on both private and non-federal public lands. Links to the complete text for each of these state laws are available on-line from the Oregon State Historic Preservation Office (SHPO) [Archaeological Services](#) webpage.

What are archaeological objects and sites?

Archaeological sites are comprised of archaeological objects or features related to historic or prehistoric activities. In the state of Oregon, 10 archaeological objects or a feature constitutes an archaeological site. Any item manufactured by a person or a by-product of manufacturing activities that is at least 75 years old is an archaeological object. If a person made an arrowhead in the past, the arrowhead itself is an archaeological object as are the waste flakes removed from the stone worked to form the arrowhead. Any tools used to remove waste flakes would additionally constitute archaeological objects. The remnants of the fire hearth used to heat treat the stone used to make the arrowhead would constitute a feature. In this example, each object and feature allows archaeologists to piece together the prehistoric activity that occurred, when it occurred, the technology utilized and where the production materials were procured. Combined, the information may be significant in understanding Oregon's cultural past. Since human occupation in Oregon is known to extend back as far as 14,000 years ago, the range in age of archaeological objects is considerably broad. Often, people not trained in archaeology consider objects that are around 75 years old to be "garbage" (e.g., cans, bottles) when in fact they may be significant for any number of reasons related to Oregon history. Archaeology in and of itself is often viewed as the study of garbage in that archaeologists study items lost or discarded by people of the past.

What does archaeological significance mean?

Archaeological significance means that a site is eligible for inclusion on the [National Register of Historic Places \(NRHP\)](#). For an archaeological site to be significant, a professional archaeologist would need to evaluate the site in terms of its importance based on condition (integrity), type of artifacts and features associated with the site, research potential or similarity to known significant sites. Conversely, a professional archaeologist can assist with recommending an archaeological site as "non-significant". If an archaeological site is determined non-significant with State Historic Preservation Office (SHPO) concurrence, it is not protected under state law. That would not prevent the landowner from protecting the site if they so choose, but it would not be necessary. Significant archaeological sites would require protection or mitigation if a landowner were planning a project with the potential to damage,

injure or destroy the site. Archaeological sites that have not been evaluated are considered significant until proven otherwise.

What is a sacred object or object of cultural patrimony?

For an archaeological object to be considered “sacred” it must be revered by an ethnic group, religious group or Indian tribe. Sacred objects are those generally used for religious or spiritual practices or for traditional native Indian religious practices. Objects of cultural patrimony are archaeological objects considered inalienable to a native Indian group. They include objects having on-going historical, traditional or cultural importance central to a native Indian group or culture. These do not include arrowheads, baskets or stone tools or portions of arrowheads, baskets or stone tools.

What does it mean to knowingly or intentionally excavate, injure, destroy or alter an archaeological site?

An archaeological site does not have to be formally recorded by professional archaeologists but can simply be known by members of a community or an individual landowner. Due to the nature of archaeological sites often being buried, knowingly can also mean at the point of discovery by anyone conducting ground disturbing activities such as excavation. The Oregon SHPO maintains information on recorded archaeological sites within the state and its waters. Site location information is confidential and generally only available to qualified individuals (e.g., professional archaeologists) or landowners/land managers. If you as a landowner wish to know if an archaeological site has been recorded on your property, SHPO will provide you with that information. The SHPO can additionally provide you with information on the likelihood that your property may possess an archaeological site based on several factors relating to historic and prehistoric land use patterns. Oregon SHPO welcomes any information provided by you, the landowner, if you suspect an archaeological site is located on your property.

PROPERTY RIGHTS:

Who owns an archaeological site on private land?

Archaeological sites on private land are owned by the landowner and the presence of such sites cannot be used to take their land away from them. The artifacts from a site are also the property of the land owner, except for Native American human remains, burials, associated funerary objects, sacred objects, and objects of cultural patrimony ([ORS 97.740](#)). Archaeologists are not allowed on private land without owner consent, regardless of the presence of an archaeological site. Projects that encroach on private land must first get the approval of the landowner to allow the project to go through their property or to conduct an archaeological survey.

If I find something can I keep it? Sell it?

Oregon state law (ORS 358.920[1][b]) permits the collection of **an** arrowhead from the surface of non-federal public or private land as long as the collection can be accomplished without the use of a tool. The law does not permit the systematic collection of artifacts but is meant to remove any penalty from a person accidentally discovering an arrowhead. Artifacts from private land can only legally be collected under a state archaeological permit with all artifacts remaining the property of the landowner to do with as they see fit. While SHPO recommends that landowners donate all artifacts to a museum for long term curation and research the landowner

can dispose of the artifacts in any way they desire (sell, trade, barter, exchange). Any artifacts from private land that are to be sold need to be accompanied by a notarized statement from the landowner as to their original location, the archaeological permit they were obtained under [OAR 736-051-0090], and assurance that the object is not human remains, a funerary object, sacred object, or object of cultural patrimony.

What happens if an archaeological site is on private land?

If an archaeological site is on private land, as with public land, avoidance is recommended. If it is not possible to avoid the site, subsurface testing by a professional archaeologist may be needed to determine if the site is significant. It is important that no ground disturbing activities occur prior to testing the site. It is further recommended that the landowner refrain from drawing attention to the site. Attention can lead to unlawful artifact collection, excavation and trespassing. Report the site to the Oregon SHPO who can assist you in locating an archaeologist to record the site so that information about how your land was used in the past can be compared to regional land use patterns.

If you have an archaeological site on your land can you continue to use the land?

Yes, in many cases you can continue to use your land without having to address potential damage to a site after coordination with Oregon SHPO has occurred. If a field is being used as open pasture for livestock, or is routinely plowed, the field can continue to be used in this same fashion. It is recommended that if possible, limiting livestock access to the site is preferred. When there is a change in how you use your land, however, there may be a need to take measures to ensure that the archaeological site is not further damaged. Coordinate with Oregon SHPO to determine the level of disturbance.

How should I treat an archaeological site on my land if it is in the way of a proposed project I want to complete?

The best protection for a site is avoidance. Keep all ground disturbing activities away from an archaeological site as much as possible. If a site can not be avoided it will need to be evaluated to see if it contains significant information about local and/or regional history. This may mean that the site will need to be tested by a professional archaeologist through archaeological excavations under a state permit (no permit fee). If the site is found to be not significant the project can move forward without delay. If the site is found to be significant, those portions of the site that can not be avoided will need to be addressed by taking steps to minimize damage to the site and/or through mitigation. One way to minimize damage to a significant site is through capping which consists of placing a thick layer of clean fill on top of the site protecting the buried component. Mitigation means that a portion of the site may need to be excavated in order to collect a sample of the significant artifacts and information that would be destroyed by the proposed ground disturbing activity. Other forms of protection and/or interpretation may also be possible so it is important to contact the Oregon SHPO to discuss any questions you may have on minimizing or mitigating damage to known archaeological sites

Who can apply for an archaeological permit and what does it entail?

Only a qualified professional archaeologist can be issued a permit in the state of Oregon. To be qualified, the archaeologist must meet the professional qualifications defined in State Law ORS 390.235(6)(b). Permits allow both collection of archaeological objects and archaeological

excavation. The archaeological permit application process itself is free to individuals meeting the qualifications and the review process can take up to 30 days before the permit is issued.

How should artifacts be properly curated from private land?

If artifacts are found on private land SHPO recommends that they be left in place and the area around the site be avoided from development, if possible. This is because the true value of an artifact is not in the artifact itself but in its context; the soil and placement of the artifact when originally deposited. For artifacts that have been collected under a state archaeological permit, we recommend that all artifacts be curated at a local museum or tribal office so they will be preserved for future research and education of the public.

How do I find out if I have an archaeological site on my property?

Oregon state law protects the sharing of location information for archaeological sites in Oregon [ORS 192.501(11)]. However, a person cannot protect or manage a site on their property if they do not know such a site exists. If a landowner wants to know if an archaeological site is known to exist on their property they can contact the Oregon SHPO. SHPO will need to see evidence of ownership of the property and be given a few basic pieces of information in order to check their statewide database of known sites. This information includes: 1) a complete legal description of the property (township, range & section); 2) a USGS map that clearly depicts the location of the property in relation to the section it lies within; and 3) an address or contact information so that we can respond to your request. Free USGS maps are available on-line at <http://www.topoquest.com/>.

Who do I contact if I want to have an archaeological survey of my land?

The Oregon SHPO maintains a list of qualified archaeological contractors on the [Archaeological Services](#) web page. The list is maintained to assist people who need to hire a professional to conduct an archaeological survey or testing project. Each of the listed firms has a qualified archaeologist able to complete all phases of archaeological research. It is recommended that you contact three (3) or more archaeologists or archaeological firms in order to get a good perspective on the cost and services offered.

What happens if I inadvertently discover archaeological objects or a site on my property?

Once a site has been discovered on your property you, the landowner, become responsible for protecting the site from further damage. It is recommended that you contact the Oregon SHPO so that they can assist you in finding ways to best protect the site while not impacting any proposed projects.

If I found something on my land but don't know if it is an artifact, who should I contact?

Identification of artifacts that you may have found can often be obtained by contacting a professional archaeologist at a local university or federal land managing agency. The US Forest Service and BLM offices all maintain a staff of archaeologists who may be able to assist you. You can also contact the Oregon SHPO archaeological services.



SHPO Archaeology Staff

Dennis Griffin, State Archaeologist (503) 986-0674

John Pouley, Assistant State Archaeologist (503) 986-0675

Matt Diederich, Archaeologist (503) 986-0577



Historic Review Staff Report and Recommendation May 12, 2018

FILE NO.: HR 18-03: Historic Review Board review of the reduction in size of the Knute Tollefson House in conjunction with the construction of 23 new townhome style apartments onsite.

HEARING DATE: May 22, 2018
7:00 p.m. – City Hall
625 Center Street
Oregon, City, Oregon 97045

OWNER: Lonnie Young
Timber Creek Homes
PO Box 1610
Clackamas Oregon, 97015

APPLICANT Todd Iselin
Iselin Architects
1307 7th Street
Oregon City, OR 97045

LOCATION: 15831 Harley Avenue
Oregon City, OR 97045

REQUEST: Reducing the size of the Knute Tollefson House in conjunction with the construction of 23 new townhome style apartments onsite.

REVIEWER: Christina Robertson-Gardiner, Senior Planner

RECOMMENDATION: Approval with Conditions

CRITERIA: Administration and Procedures are set forth in Chapter 17.50, Chapter 17.40, Historic Overlay District in Chapter 17.40, Supplemental Zoning Regulations and Exception in Chapter 17.54, and “R-6” Single-Family Dwelling District in Chapter 17.12 of the Oregon City Municipal Code. The City Code Book is available on-line at www.orcity.org.

Please be advised that any issue that is intended to provide a basis for appeal must be raised before the close of the hearing, in person or by letter, with sufficient specificity to afford the Historic Review Board and the parties an opportunity to respond to the issue. Failure to raise an issue with sufficient specificity will preclude any appeal on that issue. The decision of the Historic Review Board may be appealed to the City Commission by parties with standing within fourteen (14) calendar days of the notice of decision. ny

appeal will be based on the record. The procedures that govern the hearing will be posted at the hearing and are found in OCMC Chapter 17.50 and ORS 197.763. A city-recognized neighborhood association requesting an appeal fee waiver pursuant to OCMC 17.50.290(C) must officially approve the request through a vote of its general membership or board at a duly announced meeting prior to the filing of an appeal.

Recommended Conditions of Approval

(P) = Verify that condition of approval has been met with the Planning Division.

(DS) = Verify that condition of approval has been met with the Development Services Division.

(B) = Verify that condition of approval has been met with the Building Division.

(F) = Verify that condition of approval has been met with Clackamas Fire Department.

1. The yellow portion of the proposed revised Landmark boundary as referenced in Exhibit 3 shall be increased by 10 feet to allow 20 feet of spacing to the rear of the house to ensure that any future infill buildings will not encroach too closely to the Knute Tollefson House. The applicant shall submit a revised boundary for the file prior to Certificate of Occupancy.
2. The Landmark boundary shall be reduced as referenced in Exhibit 3 of the staff report upon Building final/Certificate of Occupancy of the townhomes. (P)
3. Once the Certificate of Occupancy is released, all future development proposals in the area outside of the areas designated as a Landmark are not subject to the OCMC 17.40 Historic Overlay District. (P)
4. This approval is contingent on the applicant moving forward with the proposed townhouse design as conditioned. If the proposal is not constructed or changes substantially from the submitted design, the Landmark boundaries will stay in their original configuration unless further refined by the Historic Review Board through a separate land use submittal. (P)
5. Substantial changes to the proposed development outside of the revised Landmark boundaries will require modification to the approval by the Historic Review. (P) Substantial changes shall be defined as meeting one of the following:
 - a. Addition of more than 2 additional dwelling units
 - b. Changes of building height of more than 2 feet.
 - c. Accessory buildings that are more than 10 feet tall or more than 600 square feet in size.
 - d. Changes to proposed materials or design that do not meet or exceed the quality of the approved design.
 - e. Any structure over 200 square feet that is closer than 18 feet from the Knute Tollefson House.

I. BACKGROUND:

Site and Context

The subject property is 1.61 acre multi-family residential property with a locally designated structure (Knute Tollefson House) located on the corner of Forsythe and Harley, high above the lower portion of Park Place. Interstate 205 and the Southern Pacific Railroad tracks are visible and audible. To the west is an industrial building, across Forsythe is an early 20th Century house and across Harley is a large vacant lot. The Abernethy Grange is located several hundred feet to the north. Houses in this area date from

late 19th century to mid-20th century. The parcel slopes gently to the west. It is landscaped with huge trees, deciduous and coniferous, and ornamental shrubs.

The subject property has portions of the Geologic Hazards Overlay District and the Natural Resources Overlay District (NROD) located onsite which will be reviewed through a separate process. There are unimproved sections of City right-of-way located on the east and west side of this property. Primary access to the property is from Harley Avenue.

Site Plan and Design Review will be required for construction of the proposed townhouses. The applicant plans on submitting for this review upon completion of the Historic Review. Street Improvement will be required as part of the Site Plan and Design Review. As the historic house is set far back from the site and would not be directly relate to the street improvements, nor is located within a historic district whose character is defined by lack of sidewalks, staff does not support the HRB recommending any reduction in street improvements to the Planning Division as part of this application.

Previous Approvals

HR 17-10 –Alterations to porch of Knute Tollefson House

The applicant submitted this application to provide a covered porch on the front of the home. This home will serve as the property manager's residence with the planned development of the property. In December 2017, staff approved replacement of building materials for the home to match the existing materials, including siding, roofing, and windows. Some of that work has been completed, and the remainder will be completed along with the porch construction.



Harley Avenue Looking South



Harley Avenue Looking West at House



Forsythe Road Looking East



Corner of Forsythe Road and Harley Ave

Description and Statement of Significance (1990 Survey form)



The Queen Anne at 15831 Harley Ave is 2-1/2 stories with a gable roof. Features include cut-away window bays with decorative casements and incised spandrels, patterned shingles, ornamented gable with floral patterns, sunburst motif at second level porch, carved porch posts, and cannonball corner blocks. Noteworthy landscape features include mature trees and ornamental shrubs on a 1.8 acre site.

Statement of Significance: Knute Tollefson is believed to be the original owner of the subject property, which he purchased in 1893. The next recorded transaction was between Martin Tollefson and Betsy Tollefson, who were both presumably relatives. In 1918 Betsy Tollefson sold the property to Ed Sobezinski. Two years later he sold to Lulu B. Sheldon. In 1935 Daisy Smith, as the administrator of Lulu Sheldon estate, sold the house to Charles A. Smith who held it for two years before selling to E.L. and Catherine Walters.

According to the current owner, the subject house was built by an old sea captain. No documentation has substantiated this information. Martin Tollefson was identified as a servant living in Astoria in 1900. Martin was born in Norway in 1873.

Lulu Belle Crandon Sheldon was born in Ohio in 1857. She came to Park Place via Kansas and Salem. At the break of World War I Mrs. Sheldon and husband, Dr. Rufus Sheldon, came to Portland where he worked in the shipyards. Following the war they purchased the subject property. Mrs. Sheldon was a recognized artist who taught art in Salem and Oregon City. She

was also a member of the Daughters of the American Revolution and St. Paul's Episcopal Church.

The house is an excellent example of a late 19th century eclectic style dwelling. it is composed of several perpendicular volumes covered with wide, dropped siding and finished with corner boards, rake boards and watertable molding. The house is embellished with decorative elements on every face, including a cut-away window bay with decorative casements and inscribed spandrels; turned gable-end ornament inscribed with a sunburst pattern; a sunburst motif at the second level porch; carved porch posts; cannonball corner blocks; and leaded glass. Porch balustrades are missing or replaced, however, pieces of the original members are located under the porch deck on the north elevation.

In addition to the house there is a garage, which appears to date from the historic period. It is in poor condition. Landscape features, including mature deciduous and coniferous trees, as well as ornamental shrubs, contribute to the historic character of the dwelling.

Neighboring Structures



The Abernethy Grange
15745 S Harley Ave
Year Built 1904
non-designated building, located to the north of the site.



Thomas Ryan House
14001 Taylor Lane
Year Built: 1920
Designated Landmark

Summary of Proposal:

The applicant is proposing to reduce the size of the landmark in conjunction with the construction of 23 new townhome style apartments and restoring the existing home as a 24th unit to achieve the minimum required density for the 1.63 acre site zoned R-2. If approved, further History Review will be constrained only to those areas identified as part of the modified boundaries of the Landmark.

This reduction is contingent on the applicant moving forward with the proposed townhouse design as conditioned. If the proposal is not constructed or changes substantially from the submitted design, as prescribed in the conditions of approval, the Landmark boundaries will stay in their original configuration unless further refined by the Historic Review Board through a separate land use submittal.

APPLICANT'S SUBMITTAL:

The proposed development consists of constructing 23 new townhome style apartments and restoring the existing home as a 24th unit to achieve the minimum required density for the 1.63 acre site zoned R-2.

The historic significance of the site is limited to the Knute Tollefson House constructed on the property in 1893. The historic home was originally sited on a bluff above the flood plain at the confluence of the Clackamas and Willamette Rivers along with other homes constructed in the late 19th and early 20th Centuries on large lots and located a few hundred yards from the local grange. It is one of the last homes remaining in this area from this era and is a good representation of the Queen Anne Style. The historic home was likely situated to take advantage of the valley and river views away from Harley Ave. The home was added to at several different times and these non-historic additions have now been removed. It is unknown if any other buildings ever existed on the gently rolling portion of the site sloping uphill toward Harley Ave.

This home sits near the northwest corner of the property and is oriented with the original (under restoration) front entry facing to the north rather than toward Harley Ave. The home originally overlooked the rivers and valley, but is now separated from the rivers by the industrial area fronting Clackamas River Drive and I 205 and surrounded by homes constructed in the 1990's and early 2000's on small lots. The landscaping at the site has been neglected and most of the large oak trees on the property are in poor health.

Each new building located off site of the proposed revise landmark boundary is unique due to the topography of the site and the grading necessary to provide emergency vehicle access. The units facing Harley Ave are proposed to have a two story volume viewed from the street and a rear loaded garage accessed from a private drive. Units fronting Forsythe will also have rear garages and front doors facing Forsythe as required by OCMC. The interior units have front facing garages and the on-site circulation has been designed to accentuate the original front entry (under reconstruction) of the historic home and provide appropriate buffers for the historic resource.

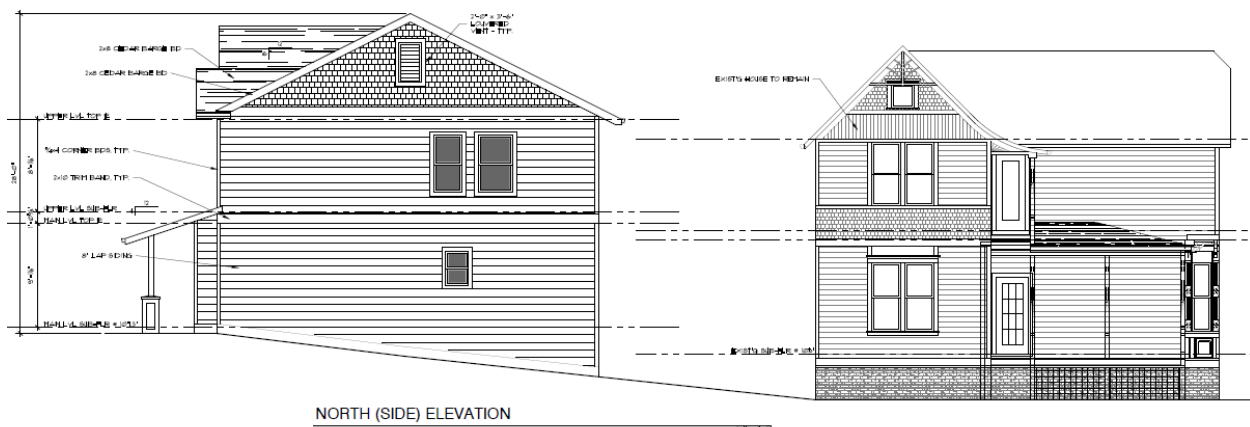
All units have sloped roofs, covered front porches and vernacular style building elements to fit into the historic context of Oregon City. No attempt is being made to replicate the Queen Anne style elements on the existing historic home in order to keep this home a unique focal point of the development.

The yellow portion of the proposed revised Landmark boundary shall be increased by 10 feet to allow 20 feet of spacing to the rear of the house to ensure that any future infill buildings do not encroach too closely to the Knute Tollefson House.




PROPOSED HISTORIC BOUNDARY REVISION
1/4" = 1'-0"





Architect: [Redacted] Date: 1/17/2018 10:00 AM File: [Redacted]

II. FINDINGS OF FACT:

Zoning:

The property is zoned R-2 Multi Family Dwelling District and High Density Residential in the Comprehensive Plan. The property is also located with the Geohazard Overlay District and Natural Resource Overlay District. The applicant must receive approval through the Geohazard/ Natural Resource and Site Plan and Design Review process prior to release of building permits.

STAFF SUMMARY: The applicant has submitted a reasonable solution for a Landmark located on a large parcel zone Multi Family Residential. The applicant is currently rehabbing the historic house to serve as a manager's residence for the development. The house sits far back from Harley Street and care was taken to preserve views to the house from the new main private street onsite. The oak trees onsite do contribute to the nature of the rural setting but have aged poorly and, based on their location, do not seem practicable to retain onsite without requiring the proposed new construction to be redesigned vertically and potentially less compatible in order to retain the minimum required development units for the R2 zone.

This proposal is in line with other Landmark reductions in Oregon City that retain the Landmark in a larger lot of the proposed development (McCarver House, Ainsworth House). This approach acknowledges that these homes that were once in a rural setting but are now part of the City's urban development zones and this proposal aims at finding a balance between two important city goals: supporting Historic Preservation and providing diverse housing options for the community.

CODE RESPONSES: The applicant needs to meet OCMC 17.40.010 and the Adopted Design Guidelines for Addition and Alterations.

Regarding Criterion (1) - The purpose of the historic overlay district as set forth in Section 17.40.010;

- A. *Effect and accomplish the protection, enhancement and perpetuation of such improvements and of districts which represent or reflect elements of the city's cultural, social, economic, political and architectural history;*

- B. *Safeguard the city's historic, aesthetic and cultural heritage as embodied and reflected in such improvements and districts;*
- C. *Complement any National Register Historic districts designated in the city;*
- D. *Stabilize and improve property values in such districts;*
- E. *Foster civic pride in the beauty and noble accomplishments of the past;*
- F. *Protect and enhance the city's attractions to tourists and visitors and the support and stimulus to business and industry thereby provided;*
- G. *Strengthen the economy of the city;*
- H. *Promote the use of historic districts and landmarks for the education, pleasure, energy conservation, housing and public welfare of the city; and*
- I. *Carry out the provisions of LCDC Goal 5.*
- J.

Finding: Complies as Proposed: The applicant has submitted a reasonable solution for a Landmark located on a large parcel zone Multi Family Residential. The applicant is currently rehabbing the historic house to serve as a manager's residence for the development. The house sits far back from Harley Street and care was taken to preserve views to the house from the new main private street onsite. The oak trees onsite do contribute to the nature of the rural setting but have aged poorly and, based on their location, do not seem practicable to retain onsite without requiring the proposed new construction to be redesigned vertically and potentially less compatible in order to retain the minimum required development units for the R2 zone.

This proposal is in line with other Landmark reductions in Oregon City that retain the Landmark in a larger lot of the proposed development (McCarver House, Ainsworth House). This approach acknowledges that these homes that were once in a rural setting but are now part of the City's urban development zones and this proposal aims at finding a balance between two important city goals: supporting Historic Preservation and providing diverse housing options for the community.

However, this analysis is based on the proposed design's location and massing. Substantial changes to the proposed development outside of the revised Landmark boundaries will require modification to the approval by the Historic Review. Substantial changes shall be defined as meeting one of the following:

1. Addition of more than 2 additional dwelling units
2. Changes of building height of more than 2 feet.
3. Accessory buildings that are more than 10 feet tall or more than 600 square feet in size.
4. Changes to proposed materials or design that do not meet or exceed the quality of the approved design.
5. Any structure over 200 square feet that is closer than 18 feet from the Knute Tollefson House.

Regarding Criterion (2) -The provisions of the city comprehensive plan;

Section 5

Open Spaces, Scenic and Historic Areas, and Natural Resources

Policy 5.3.8

Preserve and accentuate historic resources as part of an urban environment that is being reshaped by new development projects.

Finding: Complies with Condition: The property owner of the Knute Tollefson intends on incorporating the house into any proposed adjacent development.

Staff has determined that it is possible, likely and reasonable that the applicant can meet this standard through the Conditions of Approval.

Regarding Criterion (3) -The economic effect of the new proposed structure on the historic value of the district or historic site.

Finding: Complies with conditions. This house has been neglected and in fair to poor condition for over 30 years. Incorporating this house into a well maintained multifamily development will allow it to be better maintained and ensure its survival.

Regarding Criterion (4) The effect of the proposed new structure on the historic value of the district or historic site;

Finding: Complies with conditions: This house has been neglected and is in fair to poor condition for over 30 years. Incorporating this house into a well maintained multifamily development will allow it to be better maintained and ensure its survival.

The applicant is proposing to reduce the size of the Landmark in conjunction with the construction of a multi-family development. While the adjacent new construction is not being reviewed through the lens of the Design Guidelines for New Construction, staff does find that the proposal, as submitted and conditioned, provides enough distance around the historic home along with a view corridor from Harley Avenue to allow the house to retain its historic significances.

However, staff does have concern that the boundary near the rear of the historic house is not setback enough (10 feet) to ensure that a future infill development onsite will not overpower the context of the house. The yellow portion of the proposed revised Landmark boundary as shown in the applicant's submittal portion of the staff report and described in Exhibit 3 shall be increased by 10 feet to allow 20 feet of spacing at the rear of the house to ensure that future infill buildings are adequately reviewed to ensure that the massing does not adversely impact the Knute Tollefson House.

Regarding Criterion (5) - Design Compatibility: The general compatibility of exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used with the historic site;

Finding: Complies as Proposed: The exterior design, arrangement, proportion and details proposed for the new buildings are intended to be compatible with the historic districts in Oregon City, even though this property exists outside a designated district. The use of Queen Anne details found on the original Tollefson House is not desirable to enhance the uniqueness of this building. Final paint colors have not yet been determined, but will be appropriate for the period. Each building will have sloped roofs with cross gables facing the front and back to provide historically appropriate massing. Each individual unit will have a front porch at least 6' deep with partial wraparound porches at corner units. Windows will all be vertically oriented double hung where visible from the street. All doors and windows will have a minimum of 4" trim on all elevations. Contemporary building materials will be utilized in a manner to replicate historic building materials.

Regarding Criteria (6) -Economic, social, environmental and energy consequences

Finding: Complies as Proposed: The proposed multi-family development will provide an option for housing for Oregon City. The new buildings will be clustered to provide the minimum required density

for the underlying zone, but allow for open space and the preservation of the Tollefson House. Each individual unit within the multi-family buildings will have its own front porch and garage similar to a traditional single family / townhome to provide the tenants with a sense of individuality and ownership. The proposed low rise design will also be more compatible with the existing single family homes than a 4-5 story structure which the current zoning would allow. Developing the site with clustered buildings there will be less impact on the total land area. The site design incorporates best management practices for stormwater disposal and provides protection and enhancement for the identified natural resource/ steep slope portions of the site by controlling stormwater runoff and preventing erosion.

Design Guidelines: Alterations – Additions

A. Site

1. *In addition to the zoning requirements, the relationship of new additions to the street and to the open space between buildings shall be compatible with adjacent historic buildings and with the historic character of the District.*

Finding: Complies with Condition: The Knute Tolleson is an individually listed property located outside of a historic district. The proposed reduction of the Landmark boundary was created to preserve space around the house to retain its significance as a single family house located within a rural area that is no longer rural. As proposed, the new construction will be seen as separate from and not associated with the house. As the house's setting is upon an open knoll with sparse landscaping. Staff is not inclined to require extensive planting to shield the house from the neighborhood new construction.

Staff has determined that it is possible, likely and reasonable that the applicant can meet this standard through the Conditions of Approval.

2. *New additions shall be sited so that the impact to the primary facade(s) is kept to a minimum. Additions shall generally be located at the rear portions of the property or in such locations where they have the least visual impact from public ways.*

Finding: Not Applicable: No new additions have been proposed.

B. Landscape

1. *Traditional landscape elements evident in the District (grass, trees, shrubs, picket fences, etc.) should be preserved, and are encouraged in site redevelopment.*

Finding: Complies with Condition: The house sits far back from Harley Street and care was taken to preserve views to the house from the new main private street onsite. The oak trees onsite do contribute to the nature of the rural setting but have aged poorly and, based on their location, do not seem practicable to retain onsite without requiring the proposed new construction to be redesigned vertically and potentially less compatible in order to retain the minimum required development units for the R2 zone.

2. *Inappropriate landscape treatments such as berms and extensive ground cover are discouraged.*

Finding: not applicable: No berms or extensive ground cover are proposed as part of this application. All new vegetation relating to the Multi-family development will need to meet the landscape standards found in OCMC 17.62 – Site Plan and Design Review and are found to be compatible with the house.

C. Building Height

1. In addition to the zoning requirements, the height of new additions shall not exceed the height of the historic building, or of historic buildings in the surrounding area.

Finding: Not Applicable: No new additions are proposed within the revised boundaries of the Landmark.

D. Building Bulk

1. New additions smaller than the historic building or the historic buildings in the surrounding area are encouraged.
 - a. Where new additions must be larger, the new addition shall be articulated in such a manner that no single element is visually larger than the historic building or surrounding historic buildings.

Finding: Not Applicable: No new additions have been proposed.

E. Proportion and Scale

1. *The relationship of height to width of new additions and their sub-elements such as windows and doors and of alterations shall be compatible with related elements of the historic building, and with the historic character of the District.*

Finding: Not Applicable: No new additions have been proposed.

2. *The relationship of solids to voids (wall to window) shall be compatible with related elements on the historic building, and with the historic character of the District.*

Finding: Not Applicable: No changes to the existing building have been proposed.

F. Exterior Features

1. *General*
 - a. *To the extent practicable, original historic architectural elements and materials shall be preserved.*
 - b. *Architectural elements and materials for new additions shall be compatible with related elements of the historic building and with the historic character of the District.*
 - c. *The preservation, cleaning, repair and other treatment of original materials shall be in accord with the Secretary of Interior's Standards of Rehabilitation and Guidelines for Rehabilitating Historic Buildings.*

Finding: Not Applicable: No changes to the existing building have been proposed.

Secretary of Interior's Standards for Rehabilitation.

In 2001, the Historic Review Board adopted the Secretary of Interior's Standards for Rehabilitation as part of their Guidelines for Alterations and Additions.

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

Finding: Complies with Condition: The home is proposed to be retained as a single family residence. The original orientation to the Clackamas River has been compromised over time by the construction of I-205 and the industrial area that currently separates it from the natural environment. The proposed new development will provide buffers to the existing home to preserve its unique appearance as a single family home within the complex. There are no unique landscape features or spatial relationships that currently exist other than large oak trees which are either diseased or located such that their preservation would negate future development of the property. **Staff has determined that it is possible, likely and reasonable that the applicant can meet this standard through the Conditions of Approval.**

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

Finding: Complies with Condition: The exterior is being renovated to preserve the original home per previous HR approval 17-10. The proposed buffers to the new development and driveway to the original front of the Tollefson Home will retain and enhance the historic home and its unique character. **Staff has determined that it is possible, likely and reasonable that the applicant can meet this standard through the Conditions of Approval.**

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

Finding: Complies with Condition: A conscious decision to avoid typical Queen Anne elements in the new structures was made to avoid creating a false sense of history and to keep the original home as a unique feature on the Site. The new buildings will include vernacular and craftsman elements compatible with the historic districts in Oregon City.

Staff has determined that it is possible, likely and reasonable that the applicant can meet this standard through the Conditions of Approval.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

Finding: Not Applicable: No changes to the existing building have been proposed.

There are no portions of the property that have acquired historic significance in their own right over time. Only the historic home is proposed to be preserved as part of this development.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

Finding: Not Applicable: The previous HR 17-10 approval and conditions dealt with alterations to historic home. No additional preservation work is proposed as part of this application.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Finding: Not Applicable: The previous HR 17-10 approval and conditions dealt with alterations to historic home. No additional preservation work is proposed as part of this application.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Finding: Not Applicable: The previous HR 17-10 approval and conditions dealt with alterations to historic home. No additional preservation work is proposed as part of this application.

8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

Finding: Complies as Proposed: No archeological resources are known on the site, but the site has been identified by the Tribes as a possible archeological site. The site will be monitored during construction by the developer and If resources are discovered SHPO will be notified and resources will be protected and preserved in place to the extent possible.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

Finding: Not Applicable: All new construction proposed under this application will be at least 19' from the original structure and be distinct from the original Tollefson House. The materials of construction will be lap siding, doors and single hung windows with a minimum 4" trim and composition roofing to be compatible with size, scale and proportion of the historic home.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Finding: Not Applicable: The new development proposed does not include any additions or alterations to the existing historic resource. The new construction is more than 19' from the historic home and in theory could be removed at a future date without impacting the original home.

I. PUBLIC NOTICE

A public notice was sent to neighbors within 300 feet of the subject property, posted on the City's website, emailed to a variety of stakeholders, a sign was posted onsite, and notice was posted in the paper.

Clackamas County Engineering Division submitted comments related to the Site Plan and Design Review and street improvements, these comments will also be submitted once the applicant formal submits for Site Plan and Design Review.

II. CONCLUSION AND RECOMMENDATION

The proposed action is requesting an alteration the parcel on which the Knute Tollefson resides, there are no proposed changes to the Knute Tollefson itself. The request for the alteration has to do with a reduction for a proposed development expected to occur adjacent to subject site. Staff recommends approving with conditions the reduction of the site of the Knute Tollefson so the designation pertains only to the area identified in Exhibit 3.

Exhibits

1. Vicinity Map
2. Applicant Submittal
3. Proposed Reduced Boundary of Landmark
4. Survey Form
5. Clackamas County Engineering comments

The following meeting agendas, videos, staff report and exhibits for this project are available for viewing at <http://oregon-city.legistar.com/Calendar.aspx> and are part of the record.

January 23, 2018 Historic Review Board Meeting-Design Advice

Oregon City GIS Map



Legend

- Taxlots
- Taxlots (Outside UGB)
- Unimproved ROW
- City Limits
- UGB
- Basemap

Notes

HR 18-03

Overview Map

0 400 800 Feet



1: 4,800

The City of Oregon City makes no representations, express or implied, as to the accuracy, completeness and timeliness of the information displayed. This map is not suitable for legal, engineering, surveying or navigation purposes. Notification of any errors is appreciated.

Map created 4/13/2018

City of Oregon City
PO Box 3040
625 Center St
Oregon City
OR 97045
(503) 657-0891
www.orcity.org





LAND USE APPLICATION FORM

2018 MAR 30 AM 11:50
RECEIVED
CITY OF OREGON CITY

Type I (OCMC 17.50.030.A)

- ☐ Compatibility Review
- ☐ Lot Line Adjustment
- ☐ Non-Conforming Use Review
- ☐ Natural Resource (NROD) Verification
- ☐ Site Plan and Design Review

Type II (OCMC 17.50.030.B)

- ☐ Extension
- ☐ Detailed Development Review
- ☐ Geotechnical Hazards
- ☐ Minor Partition (<4 lots)
- ☐ Minor Site Plan & Design Review
- ☐ Non-Conforming Use Review
- ☐ Site Plan and Design Review
- ☐ Subdivision (4+ lots)
- ☐ Minor Variance
- ☐ Natural Resource (NROD) Review

Type III / IV (OCMC 17.50.030.C)

- ☐ Annexation
- ☐ Code Interpretation / Similar Use
- ☐ Concept Development Plan
- ☐ Conditional Use
- ☐ Comprehensive Plan Amendment (Text/Map)
- ☐ Detailed Development Plan
- ☒ Historic Review
- ☐ Municipal Code Amendment
- ☐ Variance
- ☐ Zone Change

File Number(s): HR 18-03

Proposed Land Use or Activity: 22 NEW APTS ON SITE WITH EXISTING HISTORIC HOME

Project Name: HARLEY AVE APTS Number of Lots Proposed (If Applicable): 0

Physical Address of Site: 15831 HARLEY AVE

Clackamas County Map and Tax Lot Number(s): T25, P2E, SEC 20

Applicant(s):

Applicant(s) Signature: Todd L. Keen

Applicant(s) Name Printed: Todd L. Keen Date: 4/2/18

Mailing Address: 1307 7th ST OREGON CITY OR

Phone: 503-656-1942 Fax: _____ Email: Todd.L.KEEN@ORCL.COM

Property Owner(s):

Property Owner(s) Signature: _____

Property Owner(s) Name Printed: LONNIE YOUNG, TIMBER CREEK HOMES Date: _____

Mailing Address: P.O. BOX 1610, CLACKAMAS, OR 97015

Phone: 503-708-1251 Fax: _____ Email: TCLHOMES@MSN.COM

Representative(s):

Representative(s) Signature: SAME AS APPLICANT

Representative (s) Name Printed: _____ Date: _____

Mailing Address: _____

Phone: _____ Fax: _____ Email: _____

All signatures represented must have the full legal capacity and hereby authorize the filing of this application and certify that the information and exhibits herewith are correct and indicate the parties willingness to comply with all code requirements.

City of Oregon City Planning Dept

March 23, 2018

Attn: Christina Robertson- Gardiner

RE: HR 17-10

Christina,

The following narrative describes the proposed multi-family development at 15831 Harley Ave and how it complies with the applicable Code Criteria from the Oregon City Municipal Code (OCMC).

HR 17-10 approved the restoration and exterior alteration to the existing historic home on the property and this proposal was informally presented to The Historic Review Board at that time.

The proposed development consists of constructing 23 new townhome style apartments and restoring the existing home as a 24th unit to achieve the minimum required density for the 1.63 acre site zoned R-2.

Each building is unique due to the topography of the site and the grading necessary to provide emergency vehicle access. The units facing Harley Ave are proposed to have a two story volume viewed from the street and a rear loaded garage accessed from a private drive. Units fronting Forsythe will also have rear garages and front doors facing Forsythe as required by OCMC. The interior units have front facing garages and the on-site circulation has been designed to accentuate the original front entry (under reconstruction) of the historic home and provide appropriate buffers for the historic resource.

All units have sloped roofs, covered front porches and vernacular style building elements to fit into the historic context of Oregon City. No attempt is being made to replicate the Queen Anne style elements on the existing historic home in order to keep this home a unique focal point of the development.

CODE RESPONSES: Provide a response to each of the review criteria below:

Describe the value and significance of the historic site;

The historic significance of the site is limited to the Knute Tollefson House constructed on the property in 1893. The historic home was originally sited on a bluff above the flood plain at the confluence of the Clackamas and Willamette Rivers along with other homes constructed in the late 19th and early 20th Centuries on large lots and located a few hundred yards from the local grange. It is one of the last homes remaining in this area from this era and is a good representation of the Queen Anne Style. The historic home was likely situated to take advantage of the valley and river views away from Harley Ave. The home was added to at several different times and these non-historic additions have now been removed. It is unknown if any other buildings ever existed on the gently rolling portion of the site sloping uphill toward Harley Ave.

Describe the physical condition of the historic site;

This home sits near the northwest corner of the property and is oriented with the original (under restoration) front entry facing to the north rather than toward Harley Ave. The home originally overlooked the rivers and valley, but is now separated from the rivers by the industrial area fronting Clackamas River Drive and I 205 and surrounded by homes constructed in the 1990's and early 2000's on small lots. The landscaping at the site has been neglected and most of the large oak trees on the property are in poor health.

Describe the general compatibility of exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used with the historic site;

The exterior design, arrangement, proportion and details proposed for the new buildings are intended to be compatible with the historic districts in Oregon City, even though this property exists outside a designated district. The use of Queen Anne details found on the original Tollefson House is not desirable to enhance the uniqueness of this building. Final paint colors have not yet been determined, but will be appropriate for the period.

Describe pertinent aesthetic factors

Each building will have sloped roofs with cross gables facing the front and back to provide historically appropriate massing. Each individual unit will have a front porch at least 6' deep with partial wraparound porches at corner units. Windows will all be vertically oriented double hung where visible from the street. All doors and windows will have a minimum of 4" trim. Contemporary building materials will be utilized in a manner to replicate historic building materials.

Describe the economic, social, environmental and energy consequences of your project

The proposed multi-family development will provide an option for housing for Oregon City. The new buildings will be clustered to provide the minimum required density for the underlying zone, but allow for open space and the preservation of the Tollefson House. Each individual unit within the multi-family buildings will have its own front porch and garage similar to a traditional single family / townhome to provide the tenants with a sense of individuality and ownership. The proposed low rise design will also be more compatible with the existing single family homes than a 4-5 story structure which the current zoning would allow. Developing the site with clustered buildings there will be less impact on the total land area. The site design incorporates best management practices for stormwater disposal and provides protection and enhancement for the identified natural resource/ steep slope portions of the site by controlling stormwater runoff and preventing erosion.

**Design Guidelines for Alterations and Additions
Secretary of Interiors Standards for Rehabilitation**

Describe how your project accomplishes the following:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The home is proposed to be retained as a single family residence. The original orientation to the Clackamas River has been compromised over time by the construction of I-205 and the industrial area that currently separates it from the natural environment. The proposed new development will provide buffers to the existing home to preserve its unique appearance as a single family home within the complex. There are no unique landscape features or spatial relationships that currently exist other than large oak trees which are either diseased or located such that their preservation would negate future development of the property.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

The exterior is being renovated to preserve the original home per previous HR approval 17-10. The proposed buffers to the new development and driveway to the original front of the Tollefson Home will retain and enhance the historic home and its unique character.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

A conscious decision to avoid typical Queen Anne elements in the new structures was made to avoid creating a false sense of history and to keep the original home as a unique feature on the Site. The new buildings will include vernacular and craftsman elements compatible with the historic districts in Oregon City.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

There are no portions of the property that have acquired historic significance in their own right over time. Only the historic home is proposed to be preserved as part of this development.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The previous HR 17-10 approval and conditions dealt with alterations to historic home. No additional preservation work is proposed as part of this application.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The previous HR 17-10 approval and conditions dealt with alterations to historic home. No additional preservation work is proposed as part of this application.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The previous HR 17-10 approval and conditions dealt with alterations to historic home. No additional preservation work is proposed as part of this application.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

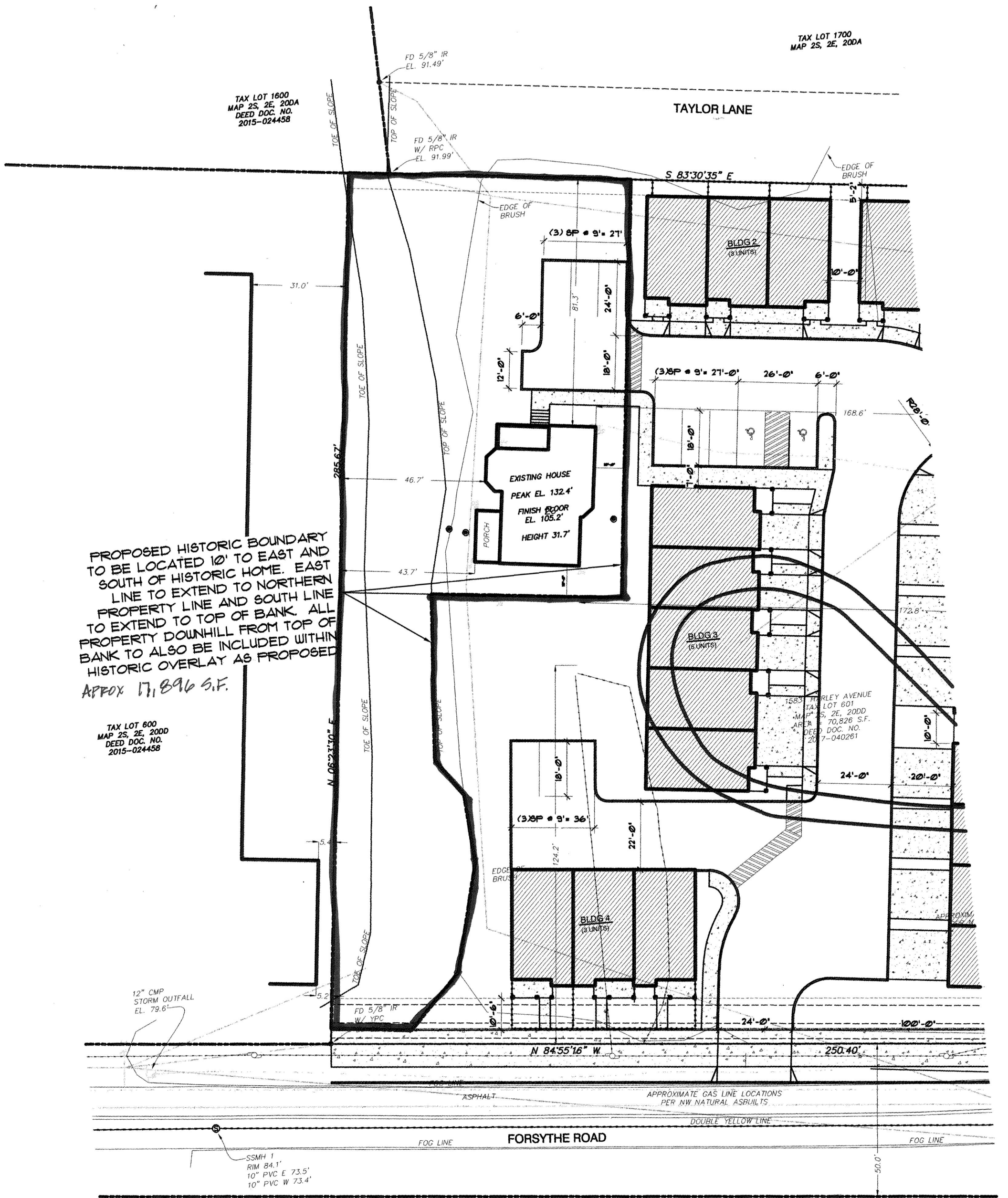
No archeological resources are known on the site, but the site has been identified by the Tribes as a possible archeological site. The site will be monitored during construction by the developer and if resources are discovered SHPO will be notified and resources will be protected and preserved in place to the extent possible.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

All new construction proposed under this application will be at least 19' from the original structure and be distinct from the original Tollefson House. The materials of construction will be lap siding, doors and single hung windows with a minimum 4" trim and composition roofing to be compatible with size, scale and proportion of the historic home.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The new development proposed does not include any additions or alterations to the existing historic resource. The new construction is more than 19' from the historic home and in theory could be removed at a future date without impacting the original home.



PROPOSED HISTORIC BOUNDARY REVISION

1/4" = 1'-0"

HARLEY AVE APTS
1722- HISTORIC BOUNDARY

ISELIN
ARCHITECTS, P.C.
1700 7th Street, Oregon 97043
503.656.1642 f. 503.656.0649 - www.iselinarchitects.com

R:\2017 Projects\1772-Harley Ave Apartments\DWG\1772 A-ST. 4/2/2018 2:17



15831 Harley Ave Apartments

Project No. 1772

Iselin Architects, PC



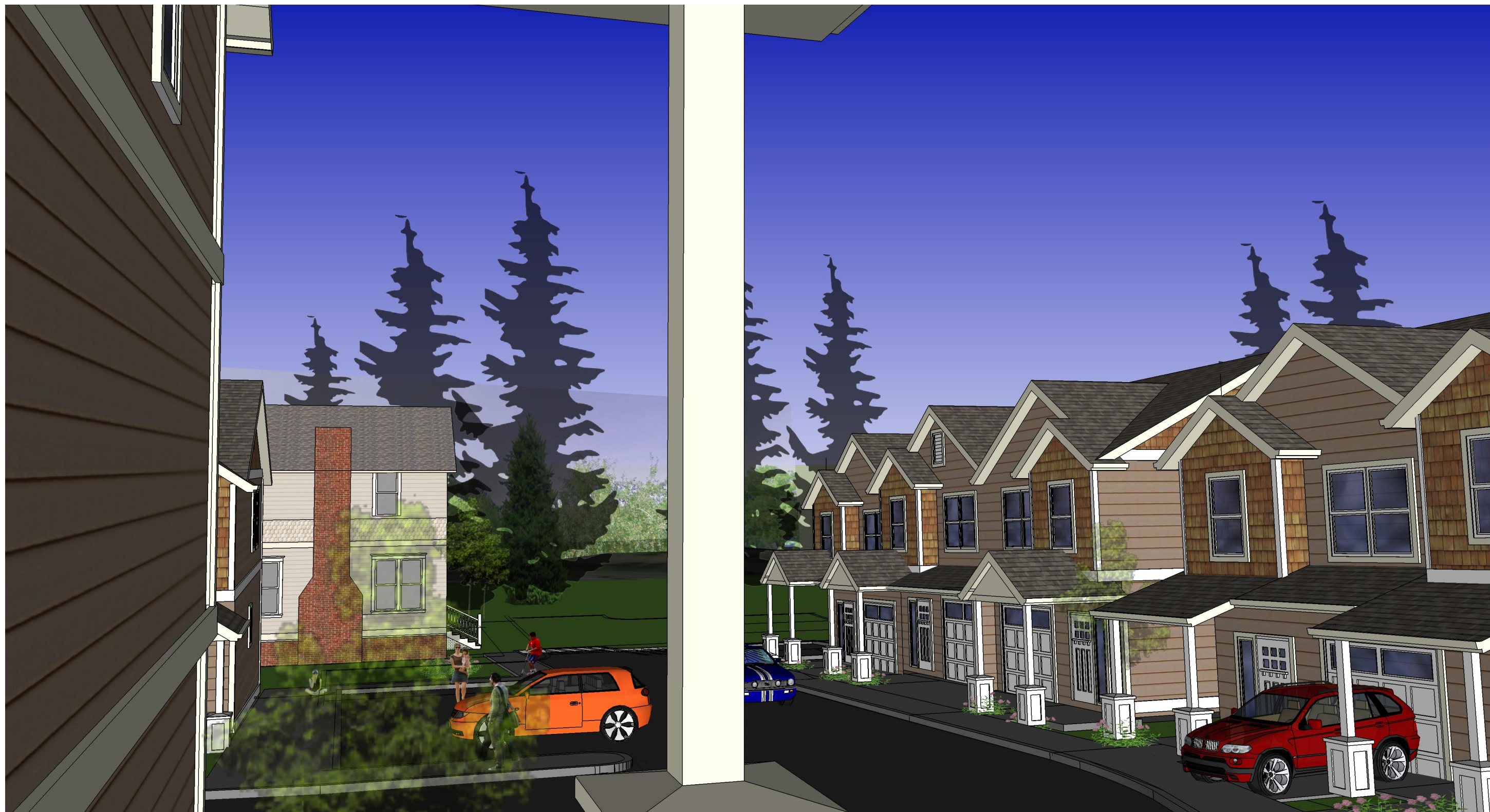
15831 Harley Ave Apartments
Project No. 1772
Iselin Architects, PC



15831 Harley Ave Apartments

Project No. 1772

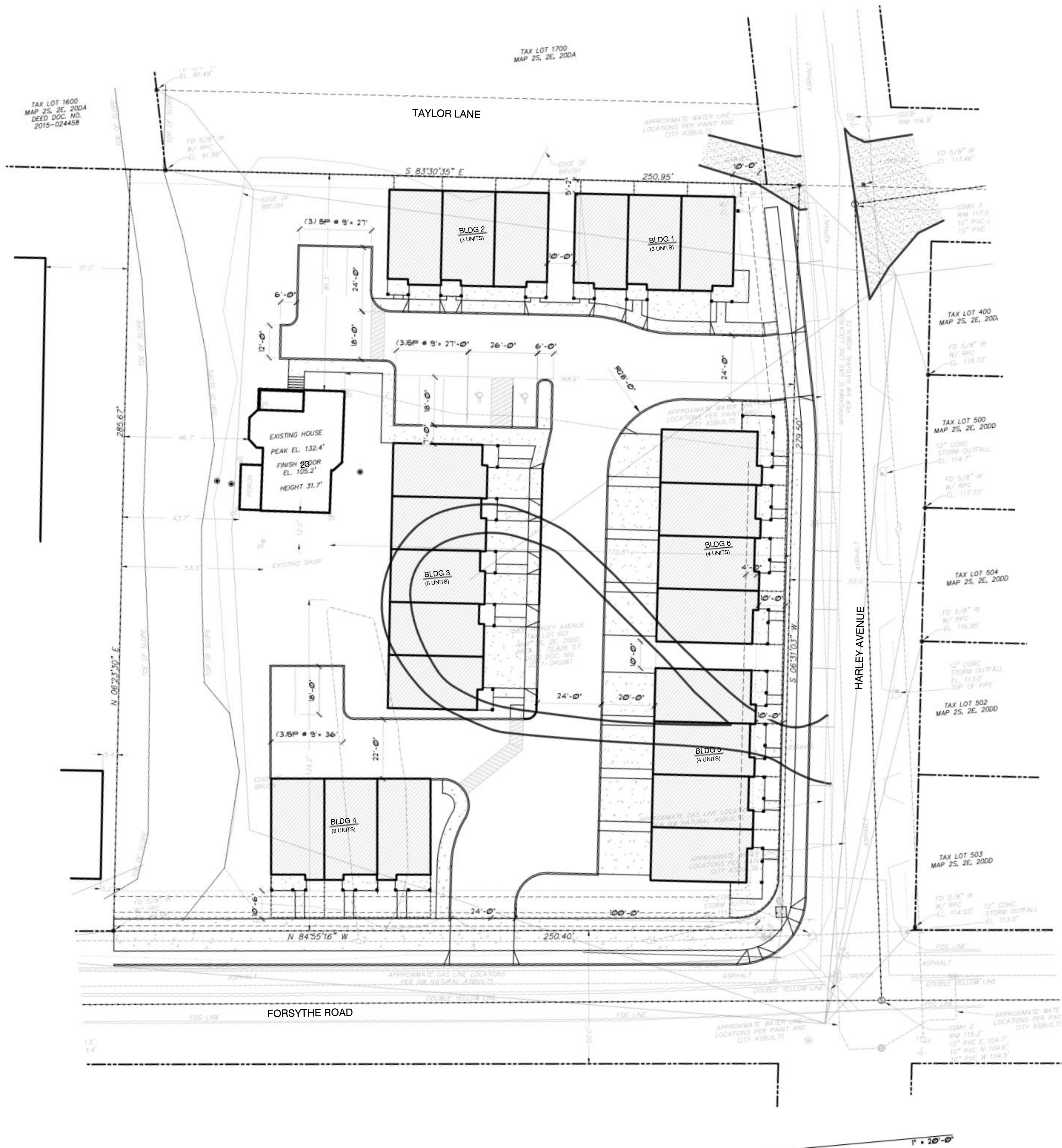
Iselin Architects, PC



15831 Harley Ave Apartments

Project No. 1772

Iselin Architects, PC



SITE PLAN

PROJECT INFORMATION

PROJECT DESCRIPTION	NEW 22 UNIT APARTMENT COMPLEX TO BE ADDED TO EXISTING SITE WITH HISTORIC HOME TO BE UTILIZED AS 23rd UNIT		
PROPERTY LOCATION ADDRESS	T 2S, R 2E, SEC 20 (W.M.) 15831 HARLEY AVE. OREGON CITY, OR, 97045 CLACKAMAS		
COUNTY	R-2		
ZONE	112 FT		
ELEVATION	1.6 AC		
SITE AREA			
OCCUPANCY			
CONSTRUCTION TYPE			
BUILDING SQUARE FOOTAGE	EXIST'G	NEW	TOTAL
MAIN LEVEL FLOOR AREA			
UPPER LEVEL FLOOR AREA			
TOTAL			
BUILDING COVERAGE			
PARKING REQUIRED			
EXISTING			
LANDSCAPING REQUIRED			
EXISTING			
IMPERVIOUS AREA			
UNDER SEPARATE PERMIT			
• MECHANICAL			
• ELECTRICAL			
• FIRE SPRINKLERS			

DRAWING INDEX

- A1.1 SITE PLAN & GENERAL NOTES
- A1.2 MAIN LEVEL FLOOR PLAN & KEYNOTES
- A1.3 UPPER LEVEL FLOOR PLAN, SCHEDULES
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 SECTIONS
- A3.2 SECTIONS
- A4.1 INTERIOR ELEVATIONS
- A5.1 DETAILS
- S0.1 STRUCTURAL NOTES
- S1.1 FOUNDATION / FRAMING PLANS
- S1.2 ROOF FRAMING PLAN

CONTACT INFORMATION

OWNER
X

ARCHITECT
ISELIN ARCHITECTS, PC
1307 7TH ST
OREGON CITY, OR 97045
CONTACT: TODD ISELIN
P. (503) 656-1942
F. (503) 656-0658



ISELIN ARCHITECTS P.C.

1307 Seventh Street
Oregon City, OR 97045
503-656-1942 ph
503-656-0658 fax
www.iselinarchitects.com

NOT FOR
PRELIMINARY
CONSTRUCTION

Harley Ave. Apartments

15831 HARLEY AVE.
Oregon City, OR, 97045

PROJ. NO. : 1772
FILE : A-SIT
DATE : 1/18/18

SHEET #

A1.1

SITE PLAN & GENERAL
NOTES



WEST (LEFT SIDE) ELEVATION

1/4" = 1'-0"



SOUTH (FRONT) ELEVATION

1/4" = 1'-0"



EAST (RIGHT SIDE) ELEVATION

1/4" = 1'-0"



NORTH (REAR) ELEVATION

1/4" = 1'-0"



**ISELIN
ARCHITECTS
P.C.**

1307 Seventh Street
Oregon City, OR 97045
503-656-1942 ph
503-656-0658 fax
www.iselinarchitects.com

NOT FOR
PRELIMINARY
CONSTRUCTION

**Building 1
Harley Ave. Apartments**

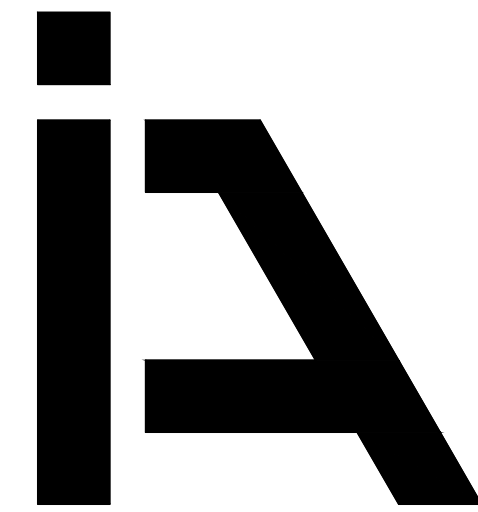
15831 HARLEY AVE.
Oregon City, OR, 97045

PROJ. NO. : 1772.1
FILE : A-ELV
DATE : 2/18/18

SHEET #

A2.1

ELEVATIONS



**ISELIN
ARCHITECTS
P.C.**

1307 Seventh Street
Oregon City, OR 97045
503-656-1942 ph
503-656-0658 fax
www.iseleinarchitects.com

NOT FOR
PRELIMINARY
CONSTRUCTION



WEST (SIDE) ELEVATION

1/4" = 1'-0"



SOUTH (FRONT) ELEVATION

1/4" = 1'-0"



EAST (SIDE) ELEVATION

1/4" = 1'-0"



NORTH (REAR) ELEVATION

1/4" = 1'-0"

**Building 2
Harley Ave. Apartments**

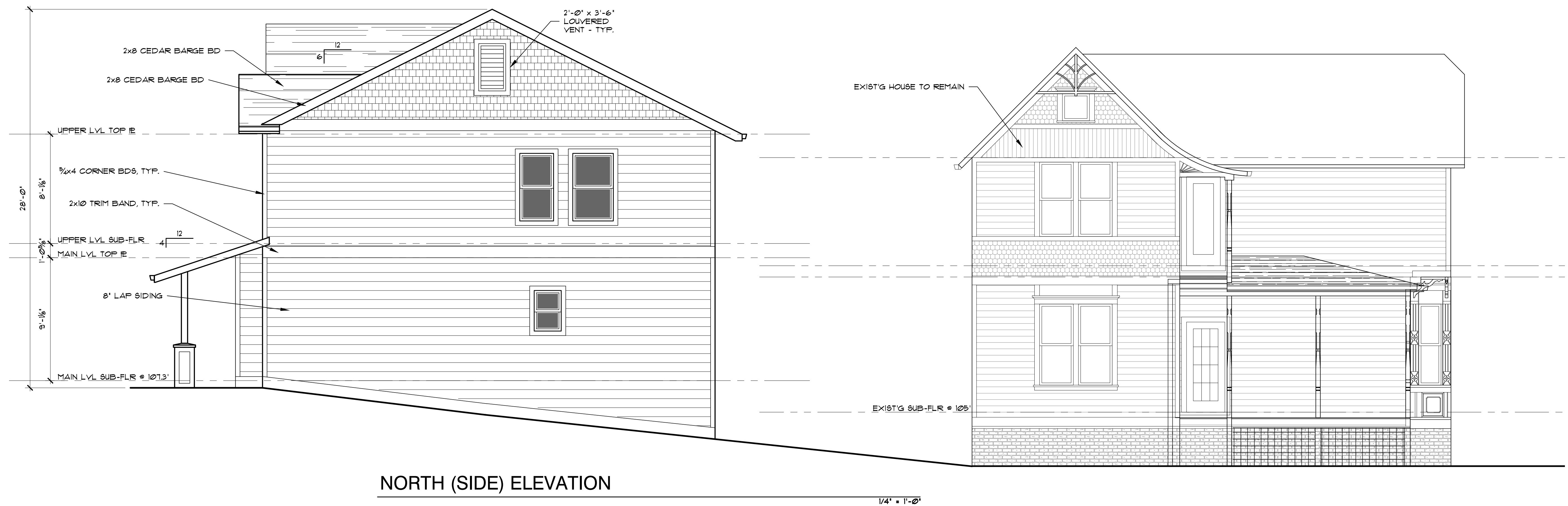
15831 HARLEY AVE.
Oregon City, OR, 97045

PROJ. NO. : 1772.2
FILE : A-ELV
DATE : 3/08/18

SHEET #

A2.1

ELEVATIONS



**ISELIN
ARCHITECTS
P.C.**

1307 Seventh Street
Oregon City, OR 97045
503-656-1942 ph
503-656-0658 fax
www.iselinarchitects.com

NOT FOR
PRELIMINARY
CONSTRUCTION

**Building 3
Harley Ave. Apartments**

15831 HARLEY AVE.
Oregon City, OR, 97045

PROJ. NO. : 1772.3
FILE : A-ELV
DATE : 3/26/18

SHEET #

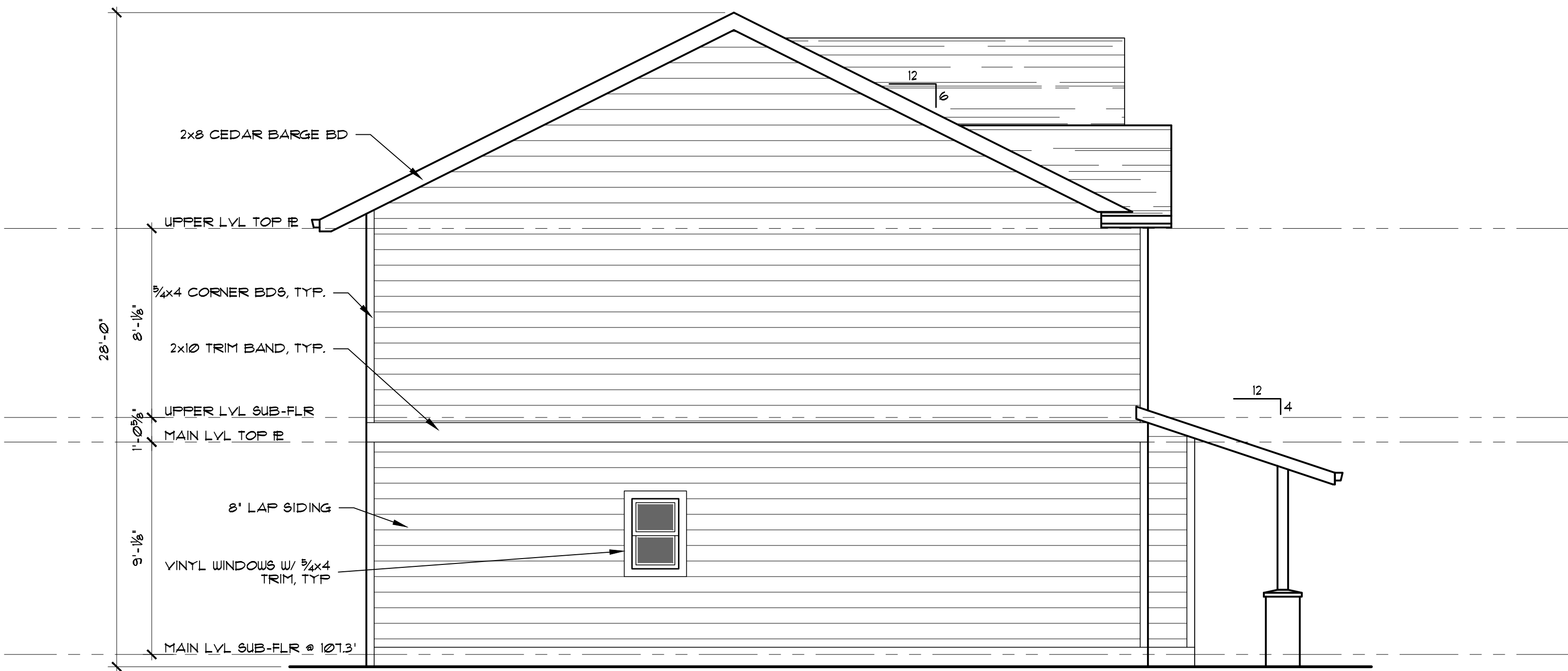
A2.1

ELEVATIONS



WEST (REAR) ELEVATION

1/4" = 1'-0"



SOUTH (SIDE) ELEVATION

1/4" = 1'-0"



**ISELIN
ARCHITECTS
P.C.**

1307 Seventh Street
Oregon City, OR 97045
503-656-1942 ph
503-656-0658 fax
www.iselinarchitects.com

NOT FOR
PRELIMINARY
CONSTRUCTION

**Building 3
Harley Ave. Apartments**
15831 HARLEY AVE.
Oregon City, OR, 97045

PROJ. NO. : 1772.3
FILE : A-ELV
DATE : 3/26/18

SHEET #
A2.2

ELEVATIONS



• NOT FOR •
PRELIMINARY
CONSTRUCTION



WEST (RIGHT SIDE) ELEVATION

$$\frac{1}{4} = 1 - \phi$$

15831 HARLEY AVE.
Oregon City, OR, 97045

SHEET #

A2.1

ELEVATIONS



**ISELIN
ARCHITECTS
P.C.**

1307 Seventh Street
Oregon City, OR 97045
503-656-1942 ph
503-656-0658 fax
www.iselinarchitects.com

NOT FOR
PRELIMINARY
CONSTRUCTION

**Building 4
Harley Ave. Apartments**

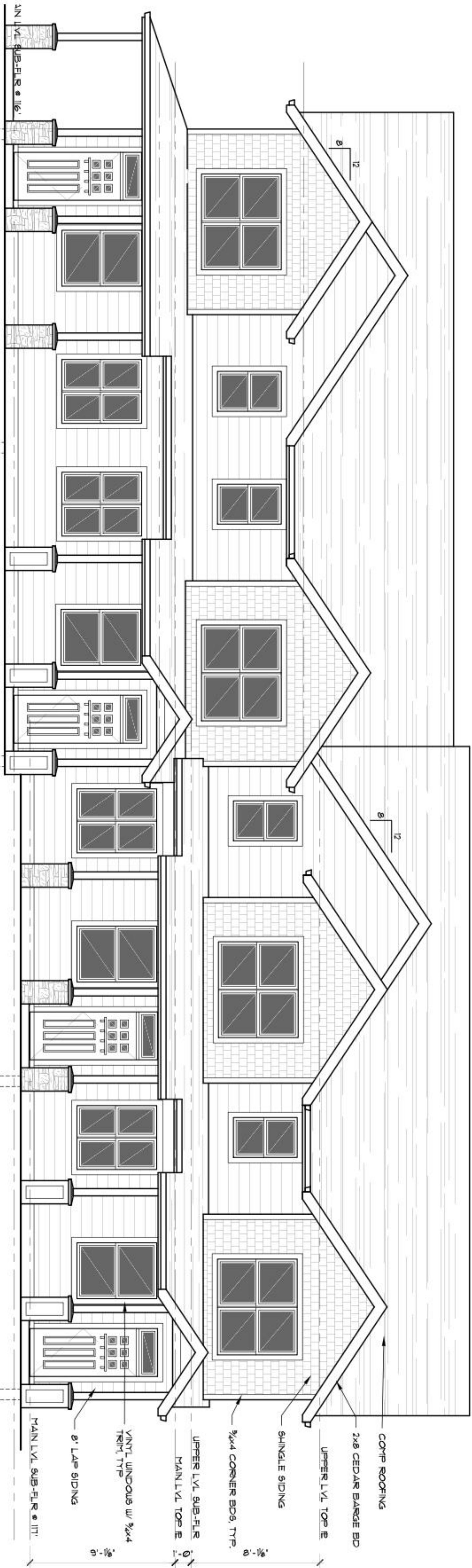
15831 HARLEY AVE.
Oregon City, OR, 97045

PROJ. NO. : 1772.4
FILE : A-ELV
DATE : 3/21/18

SHEET #

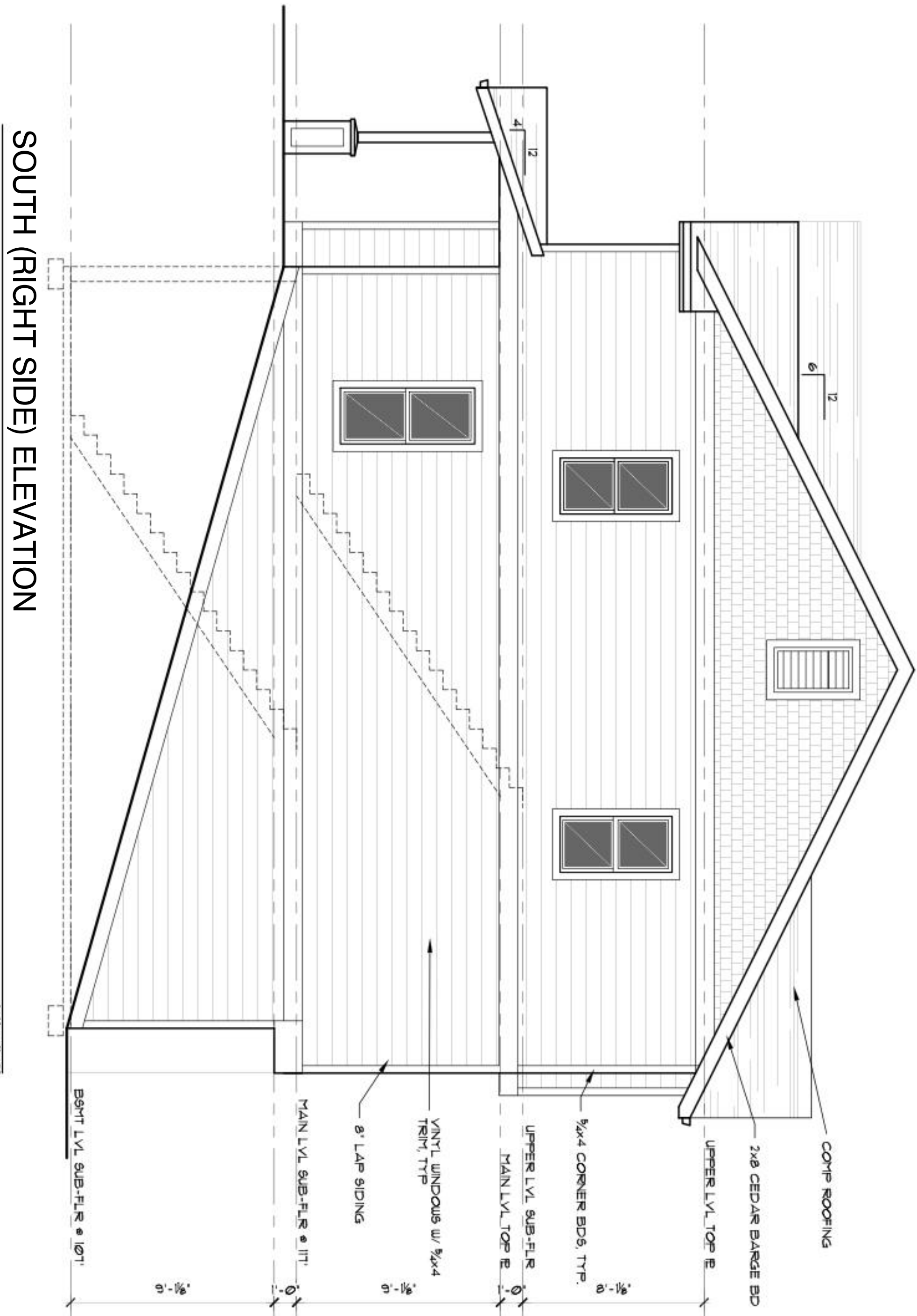
A2.2

ELEVATIONS



EAST (FRONT) ELEVATION

1/4" = 1'-0"



SOUTH (RIGHT SIDE) ELEVATION

1/4" = 1'-0"



**ISELIN
ARCHITECTS
P.C.**

1307 Seventh Street
Oregon City, OR 97045
503-656-1942 ph
503-656-0658 fax
www.iselinarchitects.com

NOT FOR
PRELIMINARY
CONSTRUCTION

**Building 5
Harley Ave. Apartments**

15831 HARLEY AVE.
Oregon City, OR, 97045

PROJ. NO.: 17725
FILE: A-ELV
DATE: 3/15/18

SHEET #

A2.1

ELEVATIONS



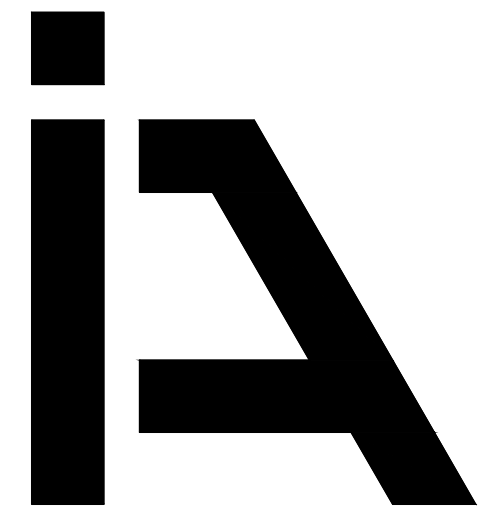
WEST (REAR) ELEVATION

1/4" = 1'-0"



NORTH (LEFT SIDE) ELEVATION

1/4" = 1'-0"



**ISELIN
ARCHITECTS
P.C.**

1307 Seventh Street
Oregon City, OR 97045
503-656-1942 ph
503-656-0658 fax
www.iselinarchitects.com



Building 5

Harley Ave. Apartments

15831 HARLEY AVE.
Oregon City, OR, 97045

PROJ. NO. :

FILE :

DATE :

1772.5

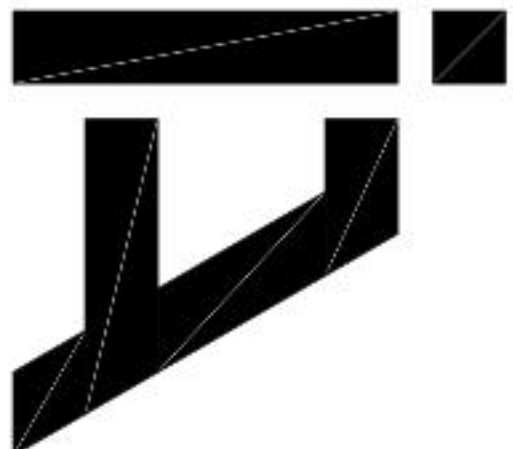
A-ELV

3/15/18

SHEET #

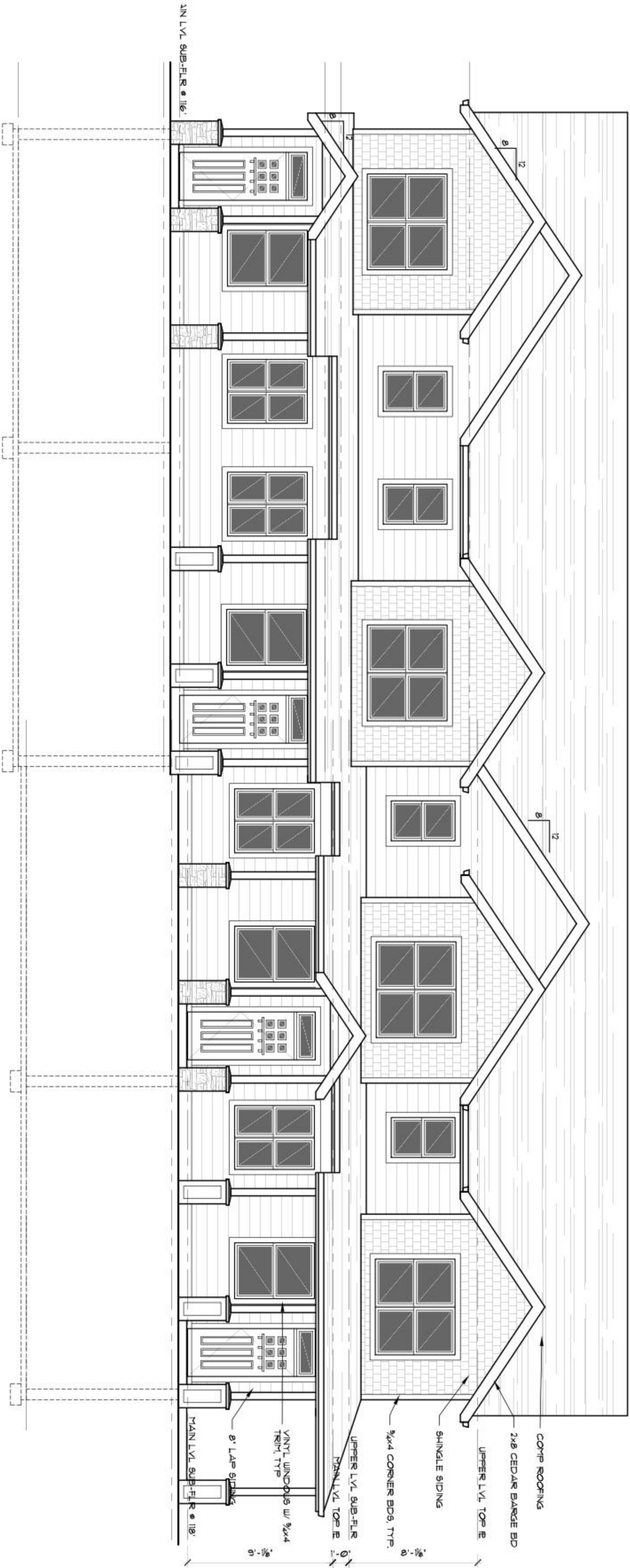
A2.2

ELEVATIONS



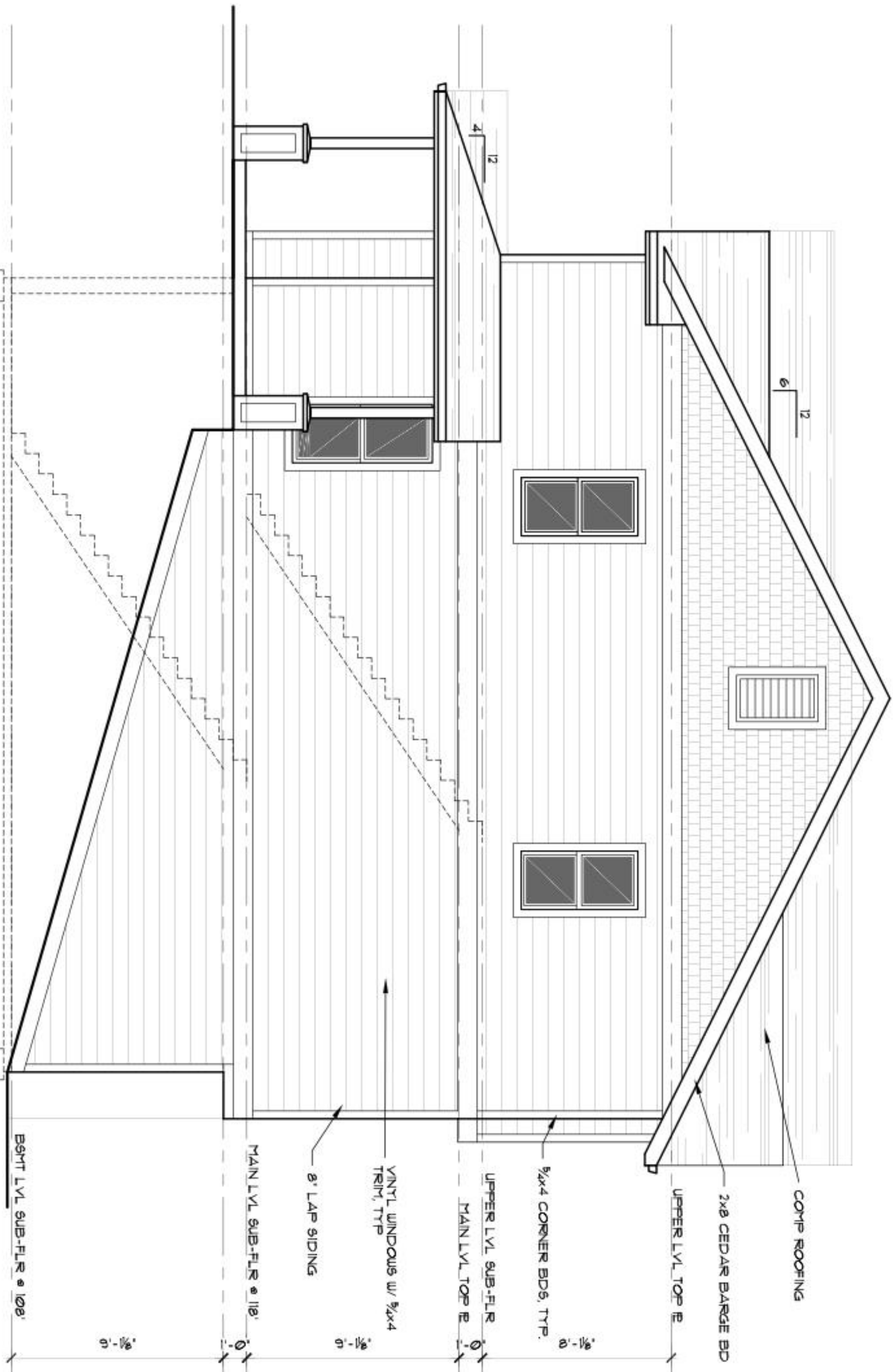
**ISELIN
ARCHITECTS
P.C.**
1307 Seventh Street
Oregon City, OR 97045
503-656-1942 ph
503-656-0658 fax
www.iselinarchitects.com

NOT FOR
PRELIMINARY
CONSTRUCTION



EAST (FRONT) ELEVATION

1/4" = 1'-0"



SOUTH (RIGHT SIDE) ELEVATION

1/4" = 1'-0"

**Building 6
Harley Ave. Apartments**

15831 HARLEY AVE.
Oregon City, OR, 97045

PROJ. NO.: 17726
FILE: A-ELV
DATE: 3/26/18

SHEET #

A2.1

ELEVATIONS



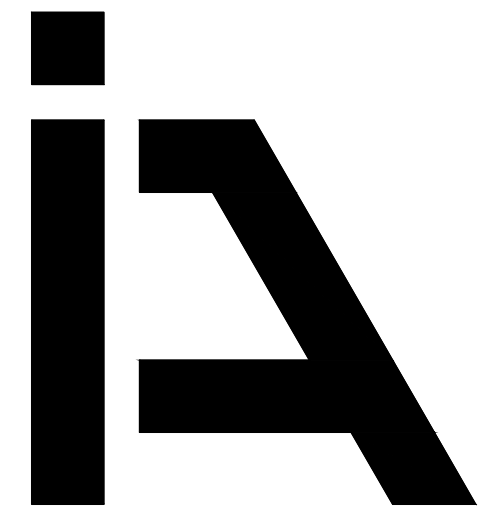
WEST (REAR) ELEVATION

1/4" = 1'-0"



NORTH (LEFT SIDE) ELEVATION

1/4" = 1'-0"



**ISELIN
ARCHITECTS
P.C.**

1307 Seventh Street
Oregon City, OR 97045
503-656-1942 ph
503-656-0658 fax
www.iselinarchitects.com

NOT FOR
PRELIMINARY
CONSTRUCTION

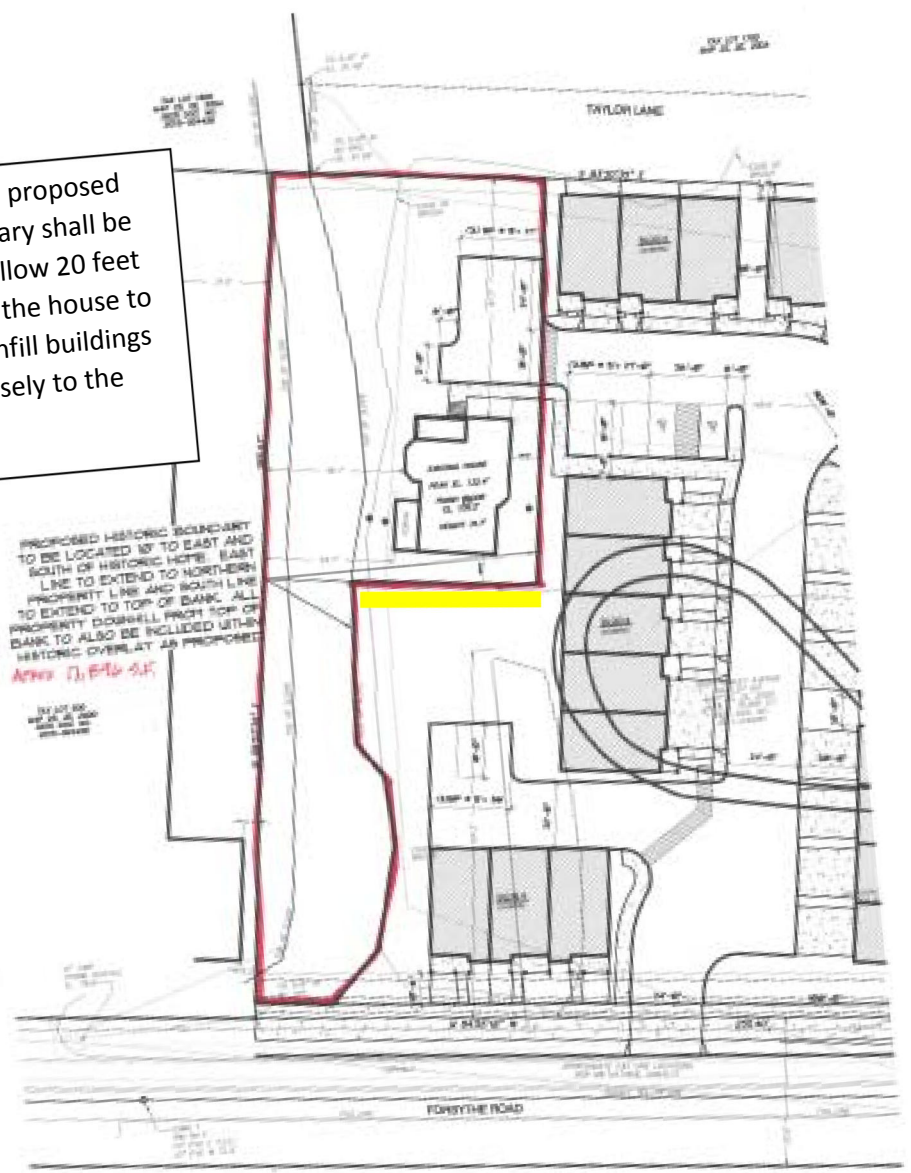
**Building 6
Harley Ave. Apartments**
15831 HARLEY AVE.
Oregon City, OR, 97045

PROJ. NO. : 1772.6
FILE : A-ELV
DATE : 3/26/18

SHEET #
A2.2

ELEVATIONS

The yellow portion of the proposed revised Landmark boundary shall be increased by 10 feet to allow 20 feet of spacing to the rear of the house to ensure that any future infill buildings do not encroach too closely to the Knute Tollefson House.




PROPOSED HISTORIC BOUNDARY REVISION
1/4" = 1'-0"

**OREGON CITY
PARK PLACE NEIGHBORHOOD
HISTORIC RESOURCES INVENTORY 1990**

HISTORIC NAME:	Tollefson, Knute, House
COMMON NAME:	
PROPERTY ADDRESS:	15831 S. Harley
OWNER:	Gary W. Reddaway
OWNER'S ADDRESS:	405 Ogden Drive, Oregon City
RESOURCE TYPE:	Building
PRESENT USE:	Residential
THEME:	Culture
ARCHITECT/BUILDER:	Unknown
COUNTY:	Clackamas
QUAD:	Gladstone
T/R/S:	2-2E-20DD
TAX LOT:	601
ADDITION	--
BLOCK:	--
LOT:	--
LOT SIZE:	1.77 acres
ZONE:	RD-4 Two-Family Residential

HOUSE

DATE BUILT:	c. 1893
STYLE:	Queen Anne
PLAN TYPE/SHAPE:	Asymmetrical
NO. OF STORIES:	2½
FOUNDATION MATERIAL:	Brick
BASEMENT:	Yes
ROOF FORM AND MATERIALS:	Intersecting gable with composition shingles
WALL CONSTRUCTION/STRUCTURAL FRAME:	Wood/unknown
PRIMARY WINDOW TYPE:	Double-hung sash, some in pairs.
EXTERIOR SURFACING MATERIALS:	Wide shiplap with corner boards, rake boards, watertable
DECORATIVE FEATURES:	Cut-away window bays with decorative casements and incised spandrels, leaded glass, w. elev.; patterned shingles; gable end ornament incised with floral pattern, n. elev; sunburst motif at second level porch, carved porch posts; cannonball corner blocks.
OTHER:	Corner double porch, n. elev; paired French doors, w. elev.

CONDITION:

EXTERIOR ALTERATIONS (DATE):

Porch balustrades replaced (n. d.)

NOTEWORTHY LANDSCAPE FEATURES:

Mature deciduous trees; mature
coniferous trees; ornamental shrubs

NON-CONTRIBUTING FEATURES:

None

SETTING: On the corner of Forsythe and Harley, high above the lower portion of Park Place. Interstate 205 and the Southern Pacific Railroad tracks are visible and audible. To the west is an industrial building, across Forsythe is an early 20th Century house and across Harley is a large vacant lot. The Abernethy Grange is located several hundred feet to the north. Houses in this area date from late 19th century to mid 20th century. The parcel slopes gently to the west. It is landscaped with huge trees, deciduous and coniferous, and ornamental shrubs.

RECORDED BY: Koler/Morrison

DATE: August 1990

SHPO NO. 1062

STATEMENT OF SIGNIFICANCE

ADDRESS: 15831 Harley

HISTORIC NAME: Tollefson, Knute, House

Knute Tollefson is believed to be the original owner of the subject property, which he purchased in 1893. The next recorded transaction was between Martin Tollefson and Betsy Tollefson, who were both presumably relatives. In 1918 Betsy Tollefson sold the property to Ed Sobezinski. Two years later he sold to Lulu B. Sheldon. In 1935 Daisy Smith, as the administrator of Lulu Sheldon estate sold the house to Charles A. Smith who held it for two years before selling to E.L. and Catherine Walters.

According to the current owner the subject house was built by an old sea captain. No documentation has substantiated this information. Martin Tollefson was identified as a servant living in Astoria in 1900. Martin was born in Norway in 1873.

Lulu Belle Crandon Sheldon was born in Ohio in 1857. She came to Park Place via Kansas and Salem. At the break of World War I Mrs. Sheldon and husband, Dr. Rufus Sheldon, came to Portland where he worked in the shipyards. Following the war they purchased the subject property. Mrs. Sheldon was a recognized artist who taught art in Salem and Oregon City. She was also a member of the Daughters of the American Revolution and St. Paul's Episcopal Church.

The house is an excellent example of a late 19th eclectic style dwelling. It is composed of several perpendicular volumes covered with wide, dropped siding and finished with corner boards, rake boards and watertable molding. The house is embellished with decorative elements on every face, including a cut-away window bay with decorative casements and inscribed spandrels; turned gable-end ornament inscribed with a sunburst pattern; a sunburst motif at the second level porch; carved porch posts; cannonball corner blocks; and leaded glass. Porch balustrades are missing or replaced, however, pieces of the original members are located under the porch deck on the north elevation.

In addition to the house there is a garage, which appears to date from the historic period. It is in poor condition.

Landscape features, including mature deciduous and coniferous trees, as well ornamental shrubs, contribute to the historic character of the dwelling.

Sources: Clackamas County Cultural Resource Inventory, 1984.
Federal Census, 1900.
Oregon City Enterprise. 5 December 1933.
Oregon City Landmarks Inventory, Urban Growth Boundary, 1982.
TICOR Title Company records, Oregon City, OR.

**OREGON CITY
PARK PLACE NEIGHBORHOOD
HISTORIC RESOURCES INVENTORY 1990**

HISTORIC NAME:	Tollefson, Knute, House
COMMON NAME:	
PROPERTY ADDRESS:	15831 S. Harley
OWNER:	Gary W. Reddaway
OWNER'S ADDRESS:	405 Ogden Drive, Oregon City
RESOURCE TYPE:	Building
PRESENT USE:	Garage
THEME:	Culture
ARCHITECT/BUILDER:	Unknown
COUNTY:	Clackamas
QUAD:	Gladstone
T/R/S:	2-2E-20DD
TAX LOT:	601
ADDITION	--
BLOCK:	--
LOT:	--
LOT SIZE:	1.77 acres
ZONE:	RD-4 Two-Family Residential

GARAGE

DATE BUILT:	Unknown
STYLE:	Vernacular
PLAN TYPE/SHAPE:	Rectangular
NO. OF STORIES:	1
FOUNDATION MATERIAL:	Concrete
BASEMENT:	No
ROOF FORM AND MATERIALS:	Hip w/composition shingles
WALL CONSTRUCTION/STRUCTURAL FRAME:	Wood/stud
PRIMARY WINDOW TYPE:	Fixed, multi-light, unglazed
EXTERIOR SURFACING MATERIALS:	Horizontal wood siding
DECORATIVE FEATURES:	None
OTHER:	None
CONDITION:	Poor
EXTERIOR ALTERATIONS (DATE):	Dooor removed; (n.d.) glass removed from windows

NOTEWORTHY LANDSCAPE FEATURES:

NON-CONTRIBUTING FEATURES:

SETTING: Located on the west side of Harley at the intersection of Forsythe Road. Houses in the area date from the late 19th Century through the mid-20th Century. Landscaping includes ornamental shrubs such as

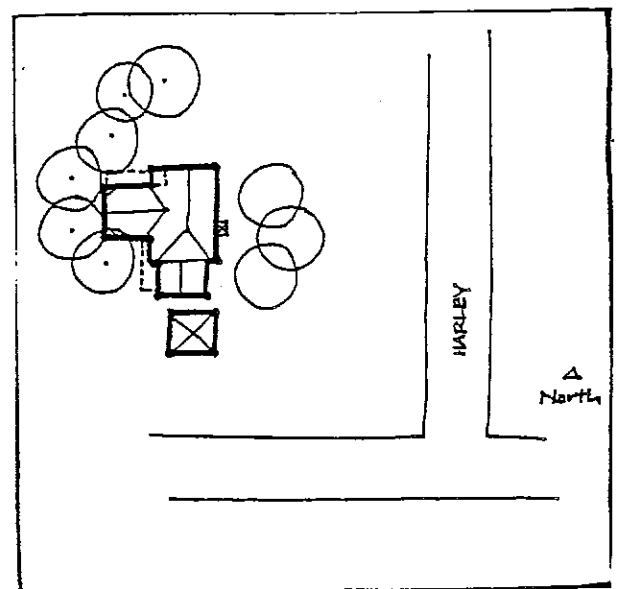
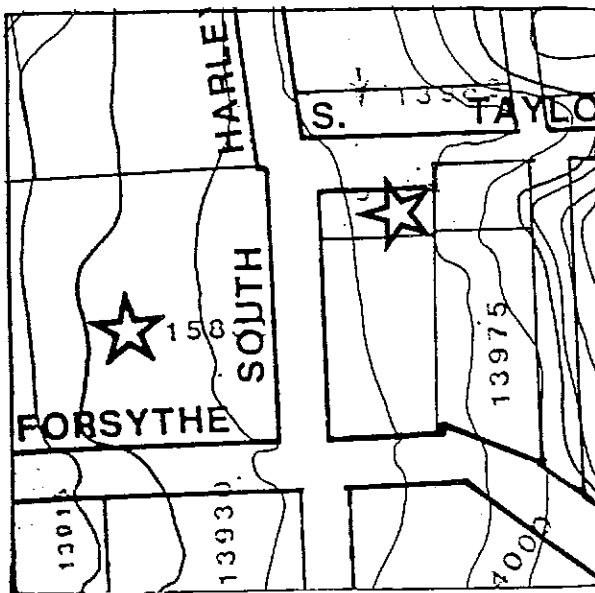
RECORDED BY: Koler/Morrison

DATE: August 1990

SHPO NO. _____

OREGON CITY
PARK PLACE NEIGHBORHOOD
HISTORIC RESOURCES INVENTORY - 1990

SITE PLAN AND PHOTOGRAPH: 15831 Harley Street



SHPO NO. _____



DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT

DEVELOPMENT SERVICES BUILDING

150 BEAVERCREEK ROAD | OREGON CITY, OR 97045

MEMORANDUM

TO: City of Oregon City, Planning Division
FROM: Deana Mulder, Clackamas County Engineering, Development Review Coordinator
DATE: May 3, 2018, revised from the May 3, 2018 memo
RE: Land Use Case File HR18-03, 15831 Harley Ave
22-unit Townhome development project with frontage on Forsythe Road.
22E20DD00601

This office has the following comments pertaining to this proposal:

This office has no comment for the historical review in relation to the proposal; however, when the site plan and design review applications are proposed we have the following comments:

Facts and Findings:

1. The Townhome project site has frontage on Forsythe Road which is a minor arterial roadway under the jurisdiction of Clackamas County. *Clackamas County's Roadway Standards* indicate that minor arterial roadways shall have a right-of-way width that ranges from 60 to 134 feet, depending on the planned road section. The minimum urban minor arterial roadway section calls for a 36-foot paved width, typically requiring 60 feet of right-of-way. The existing one half right-of-way width along the project frontage appears to be 25 feet. The applicant will be required to dedicate at least 5 feet of right-of-way on Forsythe Road and shall verify by survey that a 30-foot wide, one-half right-of-way width will be provided along the entire site frontage. If the city's planned street section for Forsythe Road is wider than the county's minimum, the city section is acceptable.
2. Minimum improvements on the Forsythe Road frontage consistent with Clackamas County's Roadway Standards include, but are not limited to, a half-street improvement, pavement widening, curb, landscape strip and sidewalk or a shared use path with ADA access and drainage facilities. The existing condition SE Forsythe Road is not in good or better condition. A condition is warranted for a full half street improvement and any necessary dig out and replacement of failed road sections.
3. The existing utility facilities, stop sign at Harley and the stop sign ahead warning sign will likely need to be relocated to provide for the half street improvements.

4. There could be steep slopes behind the sidewalk, a condition is warranted to not exceed the maximum 2:1 slope and to vegetate it for permanent erosion control.
5. Clackamas County standards restrict access to arterial roadways, requiring access to be taken from lower functional classification roads when available. The proposed site has frontage on Harley Avenue which is a lower classification local roadways. If a second access is required by the fire department, the proposed Forsythe Road access is acceptable for emergency access only. A condition is warranted to restrict use of the access to Forsythe road with a gate or other acceptable means to prohibit all vehicular access except for fire access.
6. It would be great if the applicant provided more detailed and dimensioned plans indicating the proposed improvements. This application was not clear about the 12' wide shared use path that would reduce the road pavement width to 12' wide. I believe they are shown but not dimensioned or labeled.

Given the current proposal and discussion in pre-application meeting notes this office will recommend the following conditions of approval for the site plan and design review application but they may change with the application if the application is different than proposed for the pre-application and meeting notes.

1. The applicant shall have their surveyor verify the existing right of way width of Forsythe Road and provide the additional right of way dedication to provide a minimum 30 feet wide from centerline of the right of way. If the right of way is not currently monumented, the applicant shall have their surveyor monument the centerline in compliance with the County Surveyor's requirements. Include a radius in the right of way dedication at the corner of Forsythe Road and Harley Avenue to encompass all roadway improvements plus 6".
 - a. All dedications or easements for Forsythe Road shall be by separate document unless provided on a recorded plat. The applicant will need to have their surveyor prepare the required exhibits to provide to Sharan Hamms-LaDuca in DTD Engineering for review. They can be emailed to Shams-LaDuca@clackamas.us. Examples of the exhibits are available from Sharan.
 - b. Grant public utility easement as necessary for relocation of utilities. The easement will be processed through the County with necessary exhibits prepared by a surveyor. The engineer will need to work with each utility separately to determine where to relocate facilities and if an easement is necessary.
2. Prior to commencement of any work within the right of way of Forsythe Road, a Development Permit and a Utility Placement Permit are required to be obtained from Clackamas County for all work performed in the road right-of-way. The plans will need to require CDF or CDF Alternate backfill for all utility trenches within Forsythe Road.
3. The applicant shall have the Forsythe Road half street improvements designed and constructed per Clackamas County Standards. The improvements shall consist of:
 - a. Full half street to centerline of the right of way to include:
 - i. Dig out and repair any isolated road failure along the property frontage;

- ii. A 2" pavement overlay of the existing pavement to include minimum 50' taper grinds at both ends to provide a butt joint and a minimum 2" overlay of the half street along the entire frontage.
- iii. Roadway widening to provide;
 - 1. 18' of paved road section from centerline of the right of way to a new standard curb per Standard Drawing C100 for arterial road structural section and S100 for standard curb or 12' if a 12' wide shared concrete path is constructed behind the landscape strip. The shared use path design needs to meet City of Oregon City's shared use path requirements.
<http://www.clackamas.us/engineering/documents/roadway/c1002013.pdf>
http://www.clackamas.us/engineering/documents/roadway/s100_2013.pdf
 - 2. Consistent cross slopes from centerline between 2% and 4% across the entire frontage with off-site blended transitions at both ends with 1" in 50 feet or longer to blend back to existing cross slopes.
 - 3. Five foot wide planter strip, excluding the curb width, with top soil, street trees and ground cover. The street trees and ground cover shall be on the County approved street tree and ground cover list. The lists can be provided upon request to Deana Mulder – deanam@clackamas.us
 - a. The street trees and ground cover are required to be maintained by the adjacent property owner. Street trees shall maintain a 13.5' vertical clearance over Forsythe Road and an 8' vertical clearance over the sidewalk.
 - 4. Five foot wide unobstructed sidewalk per Standard Drawing S900 set back of the 5' landscape strip.
 - 5. Construct maximum 2:1 cut slopes within the right of way of Forsythe Road. Cut slopes shall be vegetated for permanent erosion control. Same with fill slopes if they are created.
 - 6. The westerly end of the sidewalk or shared use path shall have ADA access with either a concrete transition back down to a paved road shoulder or a mid-block ramp constructed with concrete. The engineer shall provide all elevations and dimensions necessary to review for ADA compliance. It is noted that the existing road grade is 12% in this location and that a transition would exceed that; however, the engineer will need to work with the elevations and design for the best possible transition grade or a mid-block ramp with a landing.
 - 7. Provide an end of path or sidewalk signage acceptable to Clackamas County DTD Engineering.
 - 8. The end of the path or sidewalk will need to be designed and constructed to the satisfaction of Clackamas County.
 - a. Review the end of the path to determine if a curb or other barrier would add any protection from path users falling off the end if a transition is not possible due to lack of right of way.

9. Design and construct Dual ADA ramps at Forsythe Road and Harley Avenue. The designer shall use ODOT Detail 1720 for a guideline and include maximum grade and slopes of:

<i>Feature</i>	<i>Design Standard</i>	<i>Construction Standard</i>
Ramp Slope	7.5%	8.33%
Ramp Cross Slope	1.5%	2.0%
Landing (turning space) Cross Slope	1.5%	2.0%

- a. The designer shall use Clackamas County ADA check sheets for ramps, crosswalks and sidewalks. <http://www.clackamas.us/engineering/roadway.html>
 - i. Note that the unmarked crosswalk across Harley is at a stop controlled intersection and requires maximum cross slopes of 2% and maximum running grade of 5%.
10. For any ramp, sidewalk or crosswalk that cannot be designed per ADA requirements the engineer shall submit a design exception form to Clackamas County, DTD Engineering for consideration.
11. Relocate all utilities that are in the right of way and conflict with the required half street improvements. It appears that PGE poles, guy wires, fire hydrant and gas are all existing and likely to need relocated. There is also an underground vault that may need to be adjusted for the half street. The plans shall show the location of all utility facilities within the right of way.
12. Trim or remove all intersection sight obscuring vegetation along Forsythe Road. Maintain all vegetation along the frontage of Forsythe Road to provide intersection sight distance from Harley Avenue and the driveway to the west of the property.
13. Provide a striping plan to replace the double yellow centerline and the white fog line.
14. Relocate the existing stop sign ahead warning sign with the frontage improvements. The contractor will need to coordinate with Clackamas County Sign Department in order to get the location of the sign approved. The sign shall not obstruct the sidewalk and shall provide a minimum 18" clearance to the face of the curb. Sign Shop phone: 503-650-3357
15. Design and construct drainage facilities that manage the existing roadside ditch water and road runoff in accordance with the requirements Tri-City/Oregon City regulations and Clackamas County Roadway Standards, Chapter 4. If the planter strip is needed to manage storm runoff from Forsythe Road the street trees can be planted behind the sidewalk. The minimum storm pipe allowed in Forsythe Road is 12" diameter. Clackamas County does not allow PVC pipe for storm.
 - a. Note that if the planter strip is necessary for a swale or other means to treat and or infiltrate road water runoff the facilities will need to be approved by Clackamas County and a maintenance agreement will be required from the property owner/HOA/ or Oregon City/Tri-City for facilities within the right of way.

- b. The cross culvert under Harley Avenue at Forsythe Road shall be cleaned and inspected by the applicant's contractor to verify that its current condition is good or better and is minimum 12" diameter and is capable of carrying the 25 year design storm for the drainage basin at build out. If it is determined that the culvert is deficient in any way required, the applicant shall have a replacement culvert designed and installed.
- 4. If a second access to Forsythe Road is required by the fire department, provide a gate design or other design that is acceptable to the fire department and Clackamas County Engineering that restricts access to all vehicles except Fire department apparatus.
 - b. If the access is required the driveway approach shall designed and constructed per Standard Drawing D650 for separated sidewalk with a landscape strip.
- 5. The contractor shall provide to Clackamas County their certificate of liability insurance naming Clackamas County additionally insured. Please have the agent reference the land use number and County Development Permit number and include the additional insured endorsement.
- 6. Prior to initiating any construction that disrupts the normal flow of traffic on Forsythe Road the contractor shall submit a Traffic Control plan to Clackamas County, DTD Engineering for approval.
- 7. Provide the engineer's cost estimate for the related half street improvements, drainage facilities in the right of way and the driveway approach. The development permit fee will be calculated based on the estimate.
- 8. For any questions or concerns related to these conditions contact Deana Mulder, Development Review Coordinator at 503-742-4710 or email at deanam@clackamas.us.

Alan Redbourn
15914 Apperson Blvd.
Oregon City, OR 97045
alan.redbourn@gmail.com

HR 18-03 New Construction

Contents

Introduction	2
Proposed Additions to the Plan	3
Request for Stay of Board Decision	4
Appendix	5
Parking Estimation	5
View of Harley Street	6
Garage Use Statistics.....	7
Planned Design with only 8 parking spots	8
Number of Cars per Household Statistics	9
Email Communication between PPNA and Todd Islen	10
Email Communication between PPNA and myself	12

Introduction

I do not live on Harley, I live on the corner of Apperson and Forsythe where 3 of the units will be built. I don't think I need to get into all the statistics surrounding apartment buildings because I feel we are all pretty aware that apartment buildings can lower property values and increase crime rates but I also know I cannot stop all city growth.

There are currently no apartments in the surrounding area at all. I feel this new construction will change the entire feel of the neighborhood as it will bring in a revolving door of tenants that currently does not exist. This is a historical property in a quite community and it just feels like an ugly cash grab by a developer with little regard for adjacent homeowners. I would of course prefer new homes or even condos over apartments across from my home, but if an apartment complex is going in, there are some sensible things that can be done to diminish its impact on the surrounding neighborhood.

My main concern is that there is no parking on Forsythe and the complex and Harley St. do not have adequate parking for the residents in the design. This means people will have to park on Apperson St. across Forsythe. Apperson only allows parking on one side, the side of my house, meaning I will now have people coming and going and possibly loitering in front of my home day and night. The people on Harley will have it even worse than I do.

Proposed Additions to the Plan

- 1. I propose they change their design to provide adequate parking (2 spots) for each resident. This means an additional 15 parking spots within the complex.**
 - a. There will likely be at least 15 resident cars looking for parking plus additional guests looking for parking (see parking Estimation in Appendix).
 - i. This will mean lots of street parking, bringing the apartment residents into the neighborhood at all hours of the day and night.
 - b. I would like there to be additional guest parking within the complex as well.
 - i. The proposed 9 parking spots on Harley could be for guests but I would prefer them within the complex.
- 2. Harley will need to be widened to support 2 way traffic, parked cars and a sidewalk** (see image of current road in appendix)
 - a. It looks as though they have planned adding some parking on Harley but I am no expert on the proposed design. I don't see the street being widened
 - i. I do not count street parking as part of the 2 spots per resident parking.
 - b. Harley will also need a curb/sidewalk to support the foot traffic generated by parking vehicles, guests, and the residents.
 - i. This will further require the road to be widened.
- 3. Forsythe will need a crosswalk as people will be jaywalking a dangerous turn at all hours of the day and night**
 - a. People turn right up Forsythe from Clackamas River Dr. very quickly, it's often a race course for many drivers.
 - b. Coming towards Clackamas River Dr., Forsythe is also from a turn and downhill which makes stopping difficult.
 - c. This is a safety concern for everyone
- 4. The residents will need some common areas**
 - a. I don't see any common areas in the design. If anyone wants to be outside of their unit, they will be in the neighborhood.
- 5. The residents will need designated smoking areas**
 - a. Most new apartments do not allow smoking which means people that want to smoke will do so in the surrounding neighborhood at all hours.

Request for Stay of Board Decision

These are just my complaints and suggestions, other neighbors I have spoken to have their own. I have only spoken to my neighbors on Apperson and Forsythe and all are bothered by the new development. I would imagine the Harley residents are even more so.

I would like a stay put on this development plan so that the surrounding community has time to provide input. I believe this stay should be granted because we have not yet had an opportunity to voice our concerns as city planning requires. I do not believe the developer adequately communicated, and possibly even intentionally mislead the neighborhood in regards to the plan.

Yesterday I went to the May 21st Park Place Neighborhood Association (PPNA) meeting which was the first meeting since receiving the Review Board mailing Notice. The PPNA said they had already okayed the project although they felt misled by the developer after my speaking to them. They suggested I ask for a postponement of the Review Board decision so that I could have more time to get written statements from other neighbors.

- On April 11th, Todd Islen, a representative of the developer, emailed the PPNA asking for a chance to present the plans.
 - o The next PPNA steering committee was April 16th and the next neighborhood meeting was May 21st.
- Mr. Islen requested the April 16th meeting
 - o First this was not an appropriate meeting as not all residents are invited to steering committees.
 - o Secondly it did not give the PPNA enough time to contact neighborhood residents (2 business days)
- Due to the PPNA's inability to contact residents themselves they relied on the developer to do so
 - o The specifically asked Mr. Islen if he spoke to the neighbors which he responded "Yes" (I have an email for PPNA stating this).
 - o They specifically asked Mr. Islen if the neighbors had any issues and he responded "No".
- To this day, neither I nor any of the neighbors on Apperson or Forsythe were ever contacted or spoken to by the developer or anyone representing them.
 - o I spoke to the neighbors and the first we heard of the development was the Historic board "Notice of Public Hearing" mailer.
 - o We are all within 300 feet of the property and should have been communicated with.

Essentially, the community has only had one day to discuss the project which I believe is inadequate per city codes. I request of stay of at least 30 days so that I may gather more information from the surrounding neighbors.

Appendix

Parking Estimation

- Looking at the design of the complex, they have 24 units (including the historic home) and 8 parking spots + 2 disabled spots other than the 10' driveways of the units.
 - I think it is arguable that some cars will not fit in the 10' driveways
 - Each unit has a small garage that also will likely not fit all vehicles
 - Using the garage for parking will likely reduce the likelihood that the driveway will be used for parking due to the tandem nature of the parking.
 - We all know garages in the area are rarely used for parking cars but are more likely used for storage
 - See statistics from 4 sources that 70-80% of garages are not used for parking
 - Most household have 2 or more cars (average of 2, see references below), which means **we have a need for 46 parking spots**
- If we are generous and say 20% of the garages will be used
 - That provides 4.6 parking spots
- We can only guess about how many cars will park tandem and/or fit in a 10' driveway, but I'll say 80% will use their driveway
 - That provides 18.4 parking spots
- There are 8 spots + 2 disabled spots in the complex. I would guess these would be for guests but
 - I will be generous and provide those 8 for residents
- That means we have a total of 31 parking spots for 46 cars
 - **There is a surplus of 15 vehicles over the available parking spots**
 - This does not include any guest parking

View of Harley Street



Garage Use Statistics

53 per cent of households had access to a garage, only 24 per cent used them

- <http://news.bbc.co.uk/2/hi/5105090.stm>

82% of homes have two-car garages or larger, but only 15% use them to park the car inside.

- <http://www.bnd.com/> (Belleville News Democrat)

Only a quarter of the people she studied could actually park their cars in their garages.

- Book. "Life at Home in the Twenty-First Century: 32 Families Open Their Doors."

More than two-thirds of households with two or more cars cannot park them inside because there just isn't enough room

- <http://www.dailymail.co.uk/news/article-2055950/Park-cars-garage-Now-thats-ridiculous-idea-survey-finds-owners-3-500-junk.html>
- **Only 25 percent of garages could be used to store cars because they were so packed with stuff.**

<http://newsroom.ucla.edu/releases/trouble-in-paradise-new-ucla-book>

[illegible]

Number of Cars per Household Statistics

In 2013, average household had 1.927 cars

- <https://www.cars.com/articles/how-many-cars-does-the-average-american-own-1420694459157/>

Since then it has increased every year to 1.97 in 2017

- <https://www.statista.com/statistics/551403/number-of-vehicles-per-household-in-the-united-states/>

Email Communication between PPNA and Todd Iselin

From: "Todd Iselin" <todd@iselinarch.com>
Date: April 12, 2018 at 8:50:17 AM PDT
To: "Lisa&Joe Novak" <novak0929@gmail.com>
Cc: "Ray Renken" <rbrenken@comcast.net>, "Vanhaverbeke, Steve" <steve@vanhaverbeke.org>, <"gpstone72@yahoo.com:"@atl4mhob22.registeredsite.com>, <pwalter@orccity.org>
Subject: RE: Park Place NA

Hi Lisa,

Thank you for getting back to me. April 16 would be great if we can still get on your agenda at that time.

Sincerely,

Todd Iselin

[ISELIN ARCHITECTS, P.C.](#)

1307 SEVENTH STREET, OREGON CITY, OR 97045
PH. (503) 656-1942 / FAX (503) 656-0658
www.iselinarchitects.com

From: Lisa&Joe Novak [<mailto:novak0929@gmail.com>]
Sent: Thursday, April 12, 2018 8:09 AM
To: Todd Iselin
Cc: Ray Renken; Vanhaverbeke, Steve;
"gpstone72@yahoo.com:"@atl4mhob22.registeredsite.com; pwalter@orccity.org
Subject: Re: Park Place NA

Todd,

Good morning, and thank you for your email. The upcoming neighborhood meetings are as follows:

April 16, 2018, 6:30 PM: Steering Committee

May 21, 2018, 6:30 PM: General Neighborhood Meeting

Please let us know which meeting you will be attending, and we will add this topic to our agenda. Meetings are held at:

Alliance Charter Academy

[16075 Front Ave.](#)

[Oregon City](#)

Best regards,

Lisa Novak

PPNA Secretary

On Wed, Apr 11, 2018 at 4:05 PM, Todd Iselin <todd@iselinarch.com> wrote:

Hi,

We have been working with a developer who would like to construct a townhome style apartment project on the property at the south west corner of Harley and Forsythe. This is being done in conjunction with the preservation of the historic home on the property. The proposal is to construct a relatively low density development (the lowest density allowed under the R-2 zoning) with townhome style apartments with attached garages. It will be constructed by a local contractor over a period of 2 years and they are anxious to get the infrastructure in this summer. In order to meet their construction schedule we need to meet with the neighborhood association and get your input on the project. I requested a slot on your next agenda last month and never heard back from anyone. Please let me know when it will be possible to get in front of your group.

Thank you

Todd Iselin

[ISELIN ARCHITECTS, P.C.](#)

1307 SEVENTH STREET, OREGON CITY, OR 97045
PH. (503) 656-1942 / FAX (503) 656-0658
www.iselinarchitects.com

Email Communication between PPNA and myself



Greg Stone

May 2



to Lisa, jeanbob06, me

Hello Allen,

No plans have been discussed regarding the application hearing. We did have the developer presentation at last months Steering Committee Meeting. We asked if they had shared the plans and engaged the home on your street...the said they did. We asked if there were objections or concerns shared...the said none. If there are concerns please do let us know with an email to those on this email.

We have a PPNA General Meeting this month May 21 at the Alliance Charter Academy on Front Street at 6:30pm. Please do attend.



WA CONT# TREEWL*874J9 / OR CCB# 200376
Scott Clifton – ISA# I.S.A# WE6622AUL

June 22nd 2018

RE: 15831 Harley Oak Tree Assessment

Hello Lonnie,

Thank you for having us out to inspect this Oregon White Oak. This tree is roughly 70' tall with a 70' canopy spread and measures 49" at 4.5'. The tree is a fairly healthy tree that I would estimate to be around 75 years old. I would assume that the base of the tree has some hollowing just based on the species genetics. But overall the tree is in good health.

I do have some future concerns for the trees health and stability. These trees are sensitive to ground disturbances and are highly susceptible to root pathogen's (root rot). I do not believe the tree can be left without some major consequences down the road. With the size of the canopy we would need to fence off the entire drip line and that would severely impact work on the site and probably leave the root system compacted and that can lead to a rapid decline in health. I am also very concerned about putting in curbs and sidewalks. Roots will need to be cut in order to install sidewalks and curbs. Cutting root on these White Oaks is never a good idea because they are so susceptible to root disease. It is my opinion the tree should be removed before the project starts and appropriate trees to be replanted after the construction.

Please contact us anytime, if you have questions or need additional information.

Thank you,

Scott Clifton
ISA Certified Arborist WE6622AUL

Mailing Address: 315 NW 40th Street ~ Vancouver, WA 98660
Office Phone & Fax: (360) 696 9610 ~ Cell: (503) 407 2005
Website: www.treewisenw.com ~ Email: info@treewisenw.com



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Staff Report

File Number: PC 18-086

Agenda Date: 6/26/2018

Status: Agenda Ready

To: Historic Review Board

Agenda #: 3b.

From: Christina Robertson-Gardiner

File Type: Planning Item

SUBJECT:

HR 18-06 Approval of a New Office Building in the McLoughlin Conservation District.

RECOMMENDED ACTION (Motion):

Staff recommends that the Historic Review Board conditionally approve this application.

BACKGROUND:

The project consists of a new mixed use infill building to replace a historic building destroyed by a gas explosion in 2004. The historic structure destroyed by the explosion was a one story single family residence with an unfinished basement. The proposed new building will be a two story wood frame office building with a residential appearance. The proposed building will be 2,423 sq. ft.

According to Chapter 17.50 of the Oregon City Municipal Code, within two years of the date of the final decision for a site plan and design review approval, a building permit has not been issued. If the aforementioned activity has not commenced, and an application for an Extension is not filed with the Planning Division, the approval will expire and become invalid.

In this situation, the City's approval of SP 15-04 expired on August 25, 2017. In order to prevent an expiration of the Planning approval, the applicant submitted to extend the approval period to August 27th, 2018

The applicant also applied for and received approval by the Historic Review Board for the design of the office building (HR 15-03). This file has expired (February 27, 2017). Prior to submitting for new building permits, the applicant is required to obtain approval for the design by the Historic Review Board with a new HRB application. The HRB approval must be obtained by August 27th, 2018. No revisions to the previously submitted plans are proposed in this application.

Project Overview

The proposed project consists of the development of a new professional office building on an existing vacant lot located on the west side of Center Street, between 41st and 51st Streets. The lot is between the existing Entheos Health and Wellness Center at 419 Center Street and the Temple of Justice Office Building at 409 Center Street. An alley runs between Center and High immediately south of the lot and a parking lot is located on the lot to the west.

The proposed two-story building will be for the use of a single tenant. The building will be 1,249 sf on the main level and 1,185 sf on the upper level for a total area of 2,434 sf. The style of the building will be residential, Queen Anne Victorian, similar to numerous other structures in the immediate vicinity. The exterior will consist of painted fiber-cement lap siding and trim with patterned shingle accents and stick style trim at the wraparound porch, one-over-one fiberglass single hung and fixed windows, fiberglass entry doors and composition roof shingles.

BUDGET IMPACT:

Amount:

FY(s):

Funding Source:



FILE NO.: HR 18-06

HEARING DATE: Tuesday, June 26, 2018
7:00 p.m. - City Hall
625 Center Street
Oregon City, Oregon 97045

OWNER: BC Custom Homes
410 High Street
Oregon City, Or 97045

APPLICANT: Todd Iselin
Iselin Architecture
Oregon City, OR 97045

LOCATION: 415 Center Street

REQUEST: Approval of a new office building in the McLoughlin Conservation District. Previously approved file HR 15-03 has expired.

REVIEWER: Christina Robertson-Gardiner, AICP, Senior Planner

CRITERIA: Administration and Procedures are set forth in Chapter 17.50, Chapter 17.40, Historic Overlay District in Chapter 17.40, and "MUC Mixed Use Commercial in Chapter 17.28 of the Oregon City Municipal Code. The City Code Book is available on-line at www.oregoncity.org.

Please be advised that any issue that is intended to provide a basis for appeal must be raised before the close of the hearing, in person or by letter, with sufficient specificity to afford the Historic Review Board and the parties an opportunity to respond to the issue. Failure to raise an issue with sufficient specificity will preclude any appeal on that issue. The decision of the Historic Review Board may be appealed to the City Commission by parties with standing within fourteen (14) calendar days of the notice of decision. ny appeal will be based on the record. The procedures that govern the hearing will

be posted at the hearing and are found in OCMC Chapter 17.50 and ORS 197.763. A city-recognized neighborhood association requesting an appeal fee waiver pursuant to OCMC 17.50.290(C) must officially approve the request through a vote of its general membership or board at a duly announced meeting prior to the filing of an appeal.

Recommended Conditions of Approval

(P) = Verify that condition of approval has been met with the Planning Division.

(DS) = Verify that condition of approval has been met with the Development Services Division.

(B) = Verify that condition of approval has been met with the Building Division.

(F) = Verify that condition of approval has been met with Clackamas Fire Department.

1. Incised lumber or pressure treated wood shall not be used on any visible surfaces. (P)
2. All railings, decking and stairs shall be finished to match the house body or trim. (P)
3. If supported by the applicant and the Historic Review Board, the ground floor height may be reduce to ten feet to further reduce the massing of the proposed building. This condition modifies the requirements of OCMC 17.62.050 (I) ground floor heights and should be allowed by the Site Plan and Design Review Modification process. (P)
4. The applicant shall utilize the following, unless an alternate has been approved by the Historic Review Board. (P)
 - a. wood or fiberglass windows and doors. Fiberglass windows (Marvin Integrity or equivalent)
 - b. wood or a minimum 4-6-inch reveal smooth composite siding
 - c. simple vernacular styled lighting.

BASIC FACTS:

Previous Approvals

The project consists of a new mixed use infill building to replace a historic building destroyed by a gas explosion in 2004. The historic structure destroyed by the explosion was a one story single family residence with an unfinished basement. The proposed new building will be a two story wood frame office building with a residential appearance. The proposed building will be 2,423 sq. ft.

According to Chapter 17.50 of the Oregon City Municipal Code, within two years of the date of the final decision for a site plan and design review approval, a building permit has not been issued. If the aforementioned activity has not commenced, and an application for an Extension is not filed with the Planning Division, the approval will expire and become invalid.

In this situation, the City's approval of SP 15-04 expired on August 25, 2017. In order to prevent an expiration of the Planning approval, the applicant submitted to extend the approval period to August 27th, 2018

The applicant also applied for and received approval by the Historic Review Board for the design of the office building (HR 15-03). This file has expired (February 27, 2017). Prior to submitting for new building permits, the applicant is required to obtain approval for the design by the Historic Review Board with a new HRB application. The HRB approval must be obtained by August 27th, 2018. No revisions to the previously submitted plans are proposed in this application.

Project Overview

The proposed project consists of the development of a new professional office building on an existing vacant lot located on the west side of Center Street, between 41h and 51h Streets. The lot is between the existing Entheos Health and Wellness Center at 419 Center Street and the Temple of Justice Office Building at 409 Center Street. An alley runs between Center and High immediately south of the lot and a parking lot is located on the lot to the west.

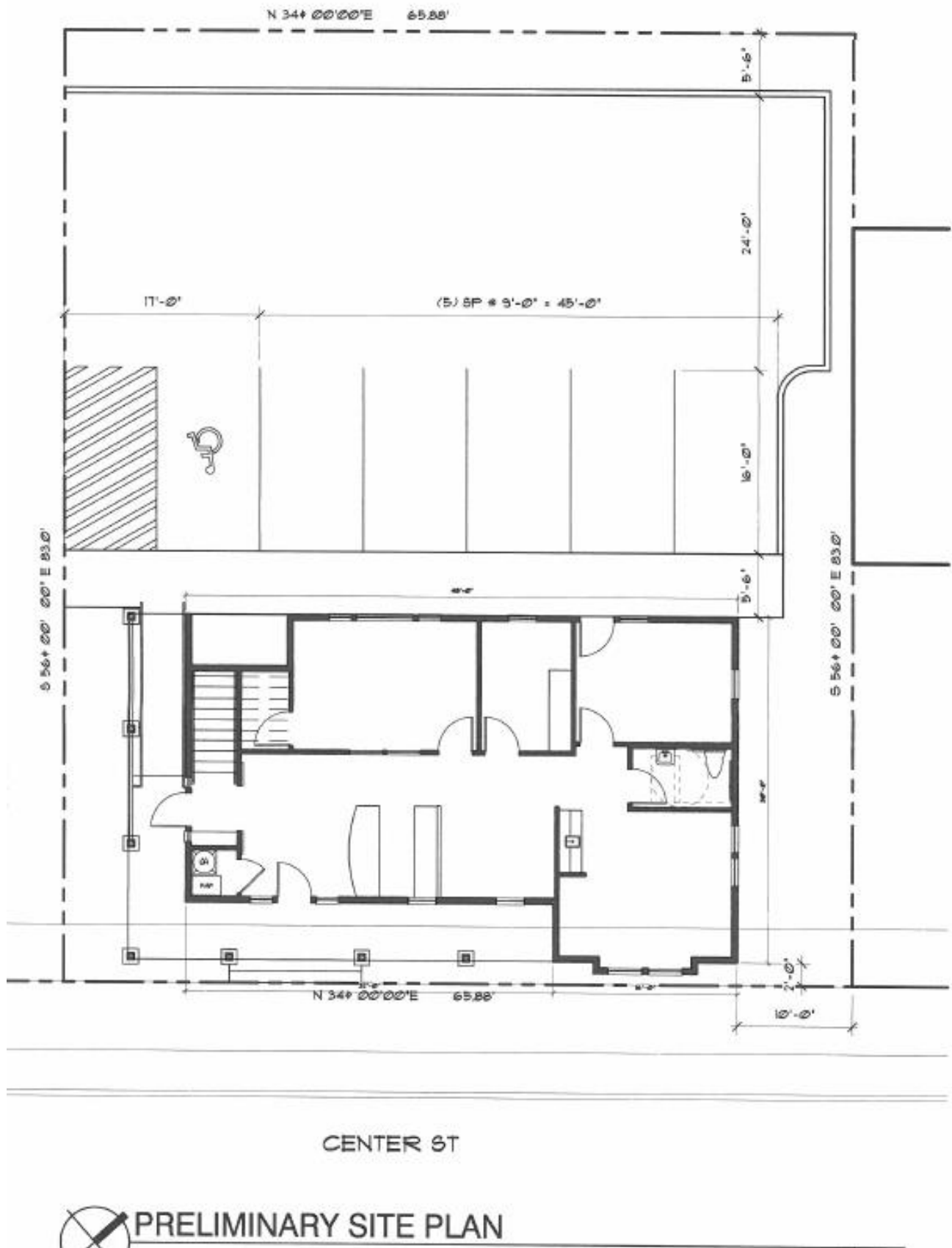
The proposed two-story building will be for the use of a single tenant. The building will be 1,249 sf on the main level and 1,185 sf on the upper level for a total area of 2,434 sf. The style of the building will be residential, Queen Anne Victorian, similar to numerous other structures in the immediate vicinity. The exterior will consist of painted fiber-cement lap siding and trim with patterned shingle accents and stick style trim at the wraparound porch, one-over-one fiberglass single hung and fixed windows, fiberglass entry doors and composition roof shingles.

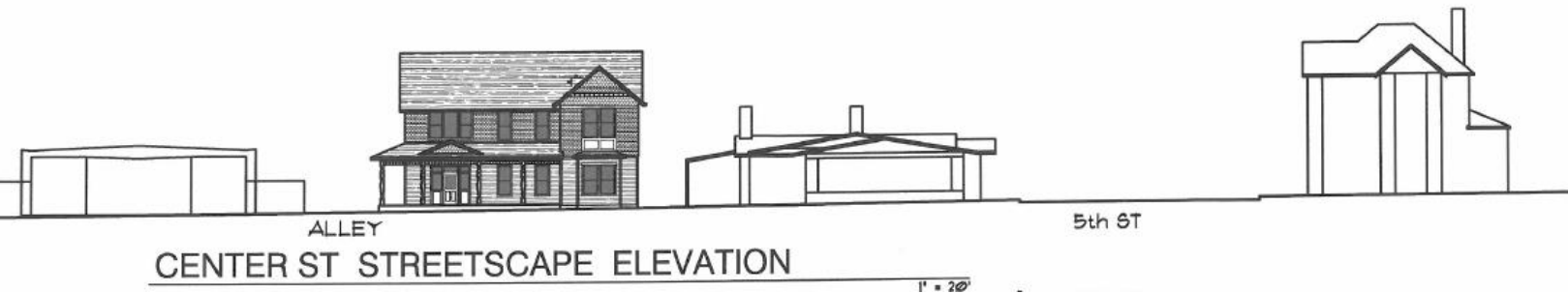


VICINITY MAP



SUBJECT SITE





CENTER ST STREETSCAPE ELEVATION





REAR ELEVATION

1/8" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

1/8" = 1'-0"

The following historic homes are located near the proposed site.

419 Center Street - W.C. and Anna Witham House



This one story Bungalow has a rectangular plan and sits on a poured concrete foundation. The shallow gable roof is covered in composition shingles with exposed rafter tails and decorative brackets supporting it. The roof is pierced by two chimneys. The house, now used as a dental clinic, is covered with bevel lap siding that is flared at the base. Windows are primarily multi-light casement with storm windows. The articulated porch features exposed tie and collar beams. The columns supporting the roof are covered in stucco. The open railing is wrought iron

419 5th Street - Agnes and Martin McDonough House



This two story Queen Anne sits under a gabled roof, with gables running both east-west and north-south. The gables typically cover octagonal bays that project out from the main body of the house. An octagonal porch under an octagonal hip roof is present at the southwest corner, where the roof is supported by slender turned columns with a simple balustrade enclosing the porch. The first floor level, above the stone foundation, which is said to be ballast from a ship from Maine, is clad with asbestos shingles. A decorative belt course separates the first and second floors, above which the residence is clad with varying imbrication patterns including diamond, sawtooth, and rounded shingles. The shingles are slightly battered above the belt course. The windows in the house are all double-hung sashes, and are a mixture of 1/1, 4/1, and 4/2, with some 4/2, some with four-pane transom windows. The original porch on the north side of the house was enclosed, probably at the time the asbestos shingles were installed. Decorative features include scroll cut brackets at the octagonal bays just below the enclosed eaves, the bracketing and sunburst pattern in the gable ends, and the two interior corbelled chimneys.

411 5th Street - Albert and Sadie Price House



This 1-1/2 story bungalow sits under a front gable roof with a large gabled dormer on the east side. A hip roofed porch sits on the south side of the house, supported by square tapered columns resting on new stone piers. A simple balustrade runs between the piers, and the stairway up to the porch has received stone railings. A small rectangular bay is cantilevered out from the south façade under a shed roof just west of the porch, and a second cantilevered bay is present on the east side of the house. The gables and shed roofs on the bays feature open eaves and knee brackets that penetrate the notched barge boards. The house is primarily clad with drop siding finished with cornerboards, but the east dormer is clad with wood shingles. The windows are all 1/1 double-hung wood sash, typically arranged in groups with aluminum storm windows. The windows feature board surrounds with decorative hood and apron moldings. A large exterior chimney is present on the east side of the house, just south of the gabled

dormer. The board formed concrete foundation is clearly visible with a fully developed water table making the transition to the drop siding.

408 High Street - C.I. Stafford House



This two story house sits under a front gable roof with a gabled dormer on the south side. Both gables feature open eaves with wide barge boards and scroll cut knee brackets. A porch runs the full width of the west façade under a hip roof supported by a series of Tuscan columns set on a solid wood balustrade. The balustrade, like the rest of the house, is clad with asbestos shingles. On the main body of the house, the siding is slightly battered at the foundation level, possibly where the original water table still exists under the new siding. A wide frieze encircles the porch above the simple column capitals. The windows are all 1/1 double-hung wood sash with narrow trim. Some windows have received decorative wood shutters. A shallow octagonal bay is present at the south end of the west side, covered by the porch hip. The house's foundation is skirted with plywood.

410 High Street - Alfred W. Meyer House



This two story house sits under a hip roof with a hipped dormer on the west side of the house. A full width porch runs across the west side as well under a hip roof. This porch has been enclosed with large fixed windows, but retains its original frieze. The porch hip eaves are enclosed, but the main hip features exposed rafter tails. The house is clad with horizontal lap siding, finished with cornerboards. The windows are a mixture of 1/1 double-hung wood sash and large fixed sashes with aluminum or wood frames. The windows have minimal trim where they have been replaced, but the original windows retain their wide board surrounds. On the west side the second floor windows have seen the addition of decorative shutters. On the east side of the house a shed roof addition has been made at the first floor level, clad with plywood and featuring minimal eaves. A wood deck is placed on top of this addition, serving the second floor. The only other projection from the house is a cantilevered rectangular bay at the first floor level on the south side, set under a bellcast hip roof. An interior brick chimney is centrally located in the house.

Noticing

Notice of the proposal was sent to property owners within three hundred feet of the subject property and the McLoughlin Neighborhood Association. Additionally, the property was posted with a Notice of Land Use sign with details about the proposal. Transmittals were sent to various City departments and other agencies regarding the proposed development plan. Relevant comments from City departments are addressed in this report as appropriate.

- Wes Rogers, Oregon City School District, did not object to the application.

- Denyse McGriff, land use chair of the McLoughlin Neighborhood Association did not provide comment on this application.
 - In 2015 she requested the ground floor height be additionally reduce one foot to 10 feet to further reduce the massing of the office on the adjacent historic house. Staff generally agrees with this approach but will defer to the Historic Review Board for their formal review on this matter.

ANALYSIS AND FINDINGS: The applicant needs to meet OCMC 17.40.010 and the Adopted Design Guidelines for New Construction (2006), Addition and Alterations and Demolition.

Regarding Criterion (1) - The purpose of the historic conservation district as set forth in Section 17.40.010;

The McLoughlin Conservation District has been in residential and mixed use since its settlement in the mid 1800's. New construction, meeting the adopted standards, can provide value to the district. This criterion has been met.

Regarding Criterion (2) -The provisions of the city comprehensive plan;

Section 5

*Open Spaces, Scenic and Historic Areas,
and Natural Resources*

Section 5

*Open Spaces, Scenic and Historic Areas,
and Natural Resources*

Goal 5.3 Historic Resources

Policy 5.3.1

Encourage architectural design of new structures in local Historic Districts, and the central Downtown area to be compatible with the historic character of the surrounding area.

Policy 5.3.8

Preserve and accentuate historic resources as part of an urban environment that is being reshaped by new development projects

Finding: Staff finds that by following the adopted design guidelines for new construction, the proposed new construction, as conditioned, can be compatible and add long-term value to the district

Regarding Criterion (3) -The economic effect of the new proposed structure on the historic value of the district or historic site.

Finding: The development will add value to the District in multiple ways. It will fill a need for needed office space; it will also increase the vitality of the neighborhood.

Finally, quality new construction that is compatible with the historic nature of the district will add value to the district. Often historic property owners will choose to invest in the restoration and rehabilitation of their properties when new construction is allowed within the district.

Regarding Criterion (4) The effect of the proposed new structure on the historic value of the district or historic site;

The proposed building is sited to be consistent with the historic development pattern of the McLoughlin Neighborhood with street facing entry and large covered porch. Service areas and parking are located to the rear and the alley is utilized for vehicular access. The building form is a simple configuration with steeply pitched roof and cross gables facing the street. The building form and siting are complimentary and consistent with existing homes in the neighborhood.

While most of the residential buildings on the area are 1 ½ or 2 story, a low horizontal style house is abutting the proposed development. While it is not feasible to design an infill office building that is lower in height than the abutting Whitham House, the applicant has taken great care to design the Vernacular/ Victorian office building to the massing of a single family house. The main level floor to floor height will be 11' and the upper level will have 9' ceilings, rather than the 14' main level floor to floor height dictated by the underlying zone for new commercial buildings to avoid overpowering the important bungalow/ prairie style landmark home immediately to the north and be consistent with other Victorian style homes in the neighborhood. The Neighborhood Association has recommended reducing the height an additional foot, staff down to disagree with this approach and defers to the applicant and the Board on this matter.

Regarding Criterion (5) - Design Compatibility:

The new building is of appropriate scale and proportion to blend with the properties of the District. The applicant has proposed a Vernacular Design, which is one of the approved design types for the district. The proposed materials, and architectural features, as conditioned, are acceptable and meet this criterion if the Conditions of Approval are met.

Regarding Criteria (6) -Economic, social, environmental and energy consequences

As described in Criterion 3, new construction and additions meeting adopted design standards can add economic and social value to the district. Compatible infill in an existing compact neighborhood reduces the need for further expansion of the city, which adds considerable savings to the cost of infrastructure.

Design Guidelines for New Construction

A. LOCATION

- ☐ McLoughlin Historic Conservation District
- ☐ Canemah National Register Historic District
- ☐ Individually listed historic property outside of the districts

- ❑ What is the Immediate Context?
- ❑ The Block
- ❑ The Neighborhood
- ❑ What are the mix of existing appropriate historic styles?

Finding: The site is located in the McLoughlin Historic Conservation District, on Center street one lot south of 5th Street. The currently vacant lot sits between two professional office buildings, adjacent to a large, open parking area and across the street from St. John the Apostle Catholic Church and School. Around the block are single and multiple unit residential buildings and the current office of BC Custom Construction.

The neighborhood currently contains a mix of both small and medium scale residential and commercial properties, including professional offices, clinics, apartments, a Clackamas County WorkSource office and the Pioneer Community Center. These buildings include a wide variety of architectural styles including residential craftsman, vernacular, Queen Anne victorian, foursquare and modern. The predominant commercial style is modern.

B. STYLE

Determining the appropriate style is the important first step toward successfully designing a compatible building in the district. Decide which style direction to use from acceptable neighborhood styles and those in the applicable specific Historic District Design Guideline. The styles noted for the district have specific District modifications indicated

Finding: The proposed new office is designed in the residential Queen Anne Victorian style. This style seems most appropriate considering the look of the majority of nearby buildings of similar use and size, including those on the same block and those on 5th Street, between Center and High Streets.

The proposed new office will front Center St with the house and front porch approximately 2' from the property line. The on-site parking will be at the rear of the property and be screened with landscaping as required by other zoning requirements.

C. SITING AND BUILDING FORM

- C-1:** Review basic zoning requirements for New Construction for the particular site (R3.5, R6, MUC etc) to understand basic setbacks, lot coverage issues.
- C-2:** Review Siting, Building Form Principles and the Specific Historic District from Design Guideline. Note any requirements that are more specific than those found in the basic zoning.
- C-3:** Establish the Site Plan and the Overall Building Form. Is the use of the site and the building's placement on the site respectful of its context? Is the size, shape and bulk of the building consistent with the style chosen? Does it complement the neighborhood context? Is there too much 'program' for the site or style?

Finding: The proposed building is sited to be consistent with the historic development pattern of the McLoughlin Neighborhood with street facing entry and large covered porch. Service areas and parking are located to the rear and the alley is utilized for vehicular access. The building form is a simple ell configuration with steeply pitched roof and cross gables facing the street. The building form and siting are complimentary and consistent with existing homes in the neighborhood.

The proposed building will face Center St and have an elevated front porch similar to most homes in the immediate area. The main level floor to floor height will be 11' and the upper level will have 9' ceilings, rather than the 14' main level floor to floor height dictated by the underlying zone for new commercial buildings to avoid overpowering the important bungalow/ prairie style landmark home immediately to the north and be consistent with other victorian style homes in the neighborhood.

D. DESIGN COMPOSITION

- D-1:** Design the building and site starting with primary design groups and major elements, such as wings, roofline, secondary portions, porches, window groupings, and dormers. Are these elements supportive or are they detractive to the historic district? Are they supportive of the style and building?
- D-2:** Review the design; Is it in good proportion and is the composition balanced?
- D-3:** Review the design and adjust to incorporate comments from the first review. Is the design representative of the style range and do the forms and individual features work toward a united design approach as viewed from the exterior?
- D-4:** Design the finer or more detailed portions of the building and site to fit within the framework established.

Finding: The proposed building has a simple overall form with a wraparound porch consistent with homes from the 1880- 1910 period within the neighborhood. Window configuration, siding and trim elements are typical of the period, but will be rendered in contemporary materials for durability and ease of maintenance. The proposed design is simple rectilinear building with a slightly elevated cross gable at the right side and lower offset gable at the porch above the entry.

The applicant has indicated that the revised design and final construction documents will include appropriate details of porch finials, pediments, window trim, rakes, soffits and all trim to be consistent with the Queen Anne Victorian style.

The Design Guidelines for New Construction were written to allow property owners a clear path to approval if they could show that their proposal meets the adopted guidelines. Staff believes that as conditioned, these can be met.

The McLoughlin Neighborhood Association, submitted comments relating to the floor height of the ground floor and request it be reduce an additional one foot to 10 feet. Staff generally agrees with this approach, but will defer to the applicant and the Board at the meeting to discuss this matter further.

E. SPECIFIC DESIGN ELEMENTS

- E-1:** Design and choose specific design elements, products, and materials that are allowable and consistent with the design styling and framework established.
- E-2:** Does the design still fit the style's 'vocabulary'? Have extraneous or excessive details, ornamentation, or materials been chosen that detract from the neighborhood context?
- E-3:** Do specific elements comply with the guideline? Are materials, colors and finishes selected? Visible equipment? Landscaping and Plantings?

Finding. Components that will replicate historic materials and be used in a composition that is historically appropriate. The spindle work components will be fabricated of primed wood and painted with two coats of paint. Fiberglass double hung windows with a profile to match historic wood windows are proposed. All openings will be cased with 5/4 x 4 sill and jamb trim and 5/4 x 6 head trim with a parting bead will be installed. A combination of straight and scalloped shingle type siding will be utilized at the upper level. 'Nichiha' fiber cement products will be utilized in this application since they have more thickness and a more realistic appearance than other products on the market. Smooth finish "Hardipanel siding will be utilized at the main level to replicate cedar lap siding. "Azek" composite tongue and groove porch boards will be utilized at the wraparound porch to emulate painted fir flooring typically utilized.

The design incorporates Queen Anne Victorian elements in a fairly minimalistic manner appropriate for Oregon City. Elaborate stickwork, turrets or high style elements have not been incorporated since these were not common to this neighborhood. The Queen Anne elements are used sparingly to create a more appropriate "folk Victorian" building design typical of this portion of the McLoughlin neighborhood.

Materials, colors and finishes have been selected for the emulation of historic materials. The landscaping will be designed by a registered Landscape Architect familiar with historic plant materials. No mechanical equipment will be located outside the building and garbage/ recycling areas are incorporated with the building design. All elements will comply with the design guidelines.

EXHIBITS

- A. Applicant's 2018 Addendum
- B. Applicant's Narrative
- C. Applicant's Plans
- D. Public Comments
 - a. Wes Rogers- Oregon City School District



MAY30 8:40AM

LAND USE APPLICATION FORM

Type I (OCMC 17.50.030.A)

- ☐ Compatibility Review
- ☐ Lot Line Adjustment
- ☐ Non-Conforming Use Review
- ☐ Natural Resource (NROD) Verification
- ☐ Site Plan and Design Review

Type II (OCMC 17.50.030.B)

- ☐ Extension
- ☐ Detailed Development Review
- ☐ Geotechnical Hazards
- ☐ Minor Partition (<4 lots)
- ☐ Minor Site Plan & Design Review
- ☐ Non-Conforming Use Review
- ☐ Site Plan and Design Review
- ☐ Subdivision (4+ lots)
- ☐ Minor Variance
- ☐ Natural Resource (NROD) Review

Type III / IV (OCMC 17.50.030.C)

- ☐ Annexation
- ☐ Code Interpretation / Similar Use
- ☐ Concept Development Plan
- ☐ Conditional Use
- ☐ Comprehensive Plan Amendment (Text/Map)
- ☐ Detailed Development Plan
- ☒ Historic Review
- ☐ Municipal Code Amendment
- ☐ Variance
- ☐ Zone Change

File Number(s): HR 18-06

Proposed Land Use or Activity: NEW OFFICE BUILDING

Project Name: BCDC CUSTOM Number of Lots Proposed (If Applicable): 1

Physical Address of Site: 415 CENTER ST, OREGON CITY, OR 97045

Clackamas County Map and Tax Lot Number(s): 25 23 31 AC TAX LOT 5900

Applicant(s):

Applicant(s) Signature: Scott Bowles

Applicant(s) Name Printed: SCOTT BOWLES Date: 5/24/18

Mailing Address: 410 HIGH ST, OREGON CITY, OR 97045

Phone: 503-722-8700 Fax: 503-722-1013 Email: CHRISTIAN@BCDCUSTOMCONSTRUCTION.NET

Property Owner(s):

Property Owner(s) Signature: [Signature]

Property Owner(s) Name Printed: BILL WINKENBACH Date: 5/24/18

Mailing Address: 410 HIGH ST, OREGON CITY, OR 97045

Phone: 503-722-8700 Fax: 503-722-1013 Email: CHRISTIAN@BCDCUSTOMCONSTRUCTION.NET

Representative(s):

Representative(s) Signature: [Signature]

Representative (s) Name Printed: SCOTT BOWLES Date: 5/24/18

Mailing Address: 410 HIGH ST, OREGON CITY OR 97045

Phone: 503-722-8700 Fax: 503-722-1013 Email: CHRISTIAN@BCDCUSTOMCONSTRUCTION.NET

All signatures represented must have the full legal capacity and hereby authorize the filing of this application and certify that the information and exhibits herewith are correct and indicate the parties willingness to comply with all code requirements.



BC Custom Construction Inc.
410 High Street
Oregon City, OR 97045
Office: 503.722.8700
Fax: 503.722.1013
www.bccustomconstruction.net

May 24, 2018

City of Oregon City
Building Department
698 Warner Parrot Rd
Oregon City, OR 97045

Re; 415 Center Street
Permit # BB15-0312

To Whom It May Concern,

The permit for 415 Center Street expired on February 28, 2018 at that time BC Custom Construction, Inc ('BC') was unable to renew the permit as it had been extended 2 years. BC will be resubmitting the project for Historic Review and Building Permits.

Sincerely,

Scott Bowles
Vice President
BC Custom Construction, Inc



LAND USE APPLICATION FORM

Type I (OCMC 17.50.030.A)

- ☐ Compatibility Review
- ☐ Lot Line Adjustment
- ☐ Non-Conforming Use Review
- ☐ Natural Resource (NROD) Verification

Type II (OCMC 17.50.030.B)

- ☐ Extension
- ☐ Detailed Development Review
- ☐ Geotechnical Hazards
- ☐ Minor Partition (<4 lots)
- ☐ Minor Site Plan & Design Review
- ☐ Non-Conforming Use Review
- ☐ Site Plan and Design Review
- ☐ Subdivision (4+ lots)
- ☐ Minor Variance
- ☐ Natural Resource (NROD) Review

Type III / IV (OCMC 17.50.030.C)

- ☐ Annexation
- ☐ Code Interpretation / Similar Use
- ☐ Concept Development Plan
- ☐ Conditional Use
- ☐ Comprehensive Plan Amendment (Text/Map)
- ☐ Detailed Development Plan
- ☒ Historic Review
- ☐ Municipal Code Amendment
- ☐ Variance
- ☐ Zone Change

File Number(s): HR 15-03

Proposed Land Use or Activity: NEW 2,434 S.F. OFFICE BUILDING ON VACANT LOT
IN MCLOUGHLIN HISTORIC DISTRICT

Project Name: BC CUSTOM CONST. OFFICE Number of Lots Proposed (If Applicable): N/A

Physical Address of Site: 415 CENTER ST

Clackamas County Map and Tax Lot Number(s): 25-2E-31AC-05900

Applicant(s):

Applicant(s) Signature: [Signature]

Applicant(s) Name Printed: _____ Date: _____

Mailing Address: 410 HIGH ST, OREGON CITY OR 97045

Phone: 503-722-8700 Fax: _____ Email: BILL@BCCUSTOMCONSTRUCTION.NET

Property Owner(s):

Property Owner(s) Signature: SAME AS APPLICANT

Property Owner(s) Name Printed: _____ Date: _____

Mailing Address: _____

Phone: _____ Fax: _____ Email: _____

Representative(s):

Representative(s) Signature: [Signature]

Representative (s) Name Printed: TODD L. ISELIN Date: 1/23/15

Mailing Address: 1307 SEVENTH ST OREGON CITY OR 97045

Phone: 503-656-1942 Fax: _____ Email: TODD@ISELINARCH.COM

All signatures represented must have the full legal capacity and hereby authorize the filing of this application and certify that the information and exhibits herewith are correct and indicate the parties willingness to comply with all code requirements.

**Application for
Historic Review**

New Commercial Office Building
415 Center Street
Oregon City, Oregon

January, 2015

Planning Department
City of Oregon City
221 Molalla Avenue Suite 200
Oregon City, OR 97045

ISELIN ARCHITECTS, P.C.

1307 Seventh Street Oregon City, OR 97045 p: 503-656-1942 f: 503-656-0658

Project: New Single Tenant Commercial Office Building
415 Center Street
Oregon City, Oregon 97045

Application For: Historic Review

Property Owner: BC Custom Construction Inc.
410 High Street
Oregon City, OR 97045
Bill Winkenbach
503-722-8700 phone 503-722-1013 fax
bill@bccustomconstruction.net

Architect: Iselin Architects, P.C.
1307 Seventh Street
Oregon City, OR 97045
Todd Iselin, Project Architect
503-656-1942 phone 503-656-0658 fax
todd@iselinarch.com

Table of Contents

A. Project Information

B. Chapter 17.40 Design Guidelines

C. Neighborhood Photographs

D. Exterior Color Board (Photocopy)

E. Drawings

- Site Plan
- Front Elevation
- Side and Rear Elevations

Project Summary

The proposed project consists of the development of a new professional office building on an existing vacant lot located on the west side of Center Street, between 4th and 5th Streets. The lot is between the existing Entheos Health and Wellness Center at 419 Center Street and the Temple of Justice Office Building at 409 Center Street. An alley runs between Center and High immediately south of the lot and a parking lot is located on the lot to the west.

The proposed two story building will be for the use of a single tenant. The building will be 1,249 sf on the main level and 1,185 sf on the upper level for a total area of 2,434 sf. The style of the building will be residential, Queen Anne Victorian, similar to numerous other structures in the immediate vicinity. The exterior will consist of painted fiber-cement lap siding and trim with patterned shingle accents and stick style trim at the wraparound porch, one-over-one fiberglass single hung and fixed windows, fiberglass entry doors and composition roof shingles.

Project Information

Site Address: 415 Center Street, Oregon City, Oregon
2S-2E-31AC-05900

Site Area: 5,692 sf

Zone: MUC1

Proposed Building Area:

Main Level Living:	1,249 sf
Upper Level Living:	1,185 sf
Total Living:	2,434 sf

Building Coverage: 28%

Total Impervious Area: 4,491 sf (79%)

Landscape Coverage: 21%

Chapter 17.40 Design Guidelines

Chapter 17.40 - HISTORIC OVERLAY DISTRICT

Sections:

17.40.010 - Purpose.

17.40.030 - Designated.

17.40.040 - Citizen involvement.

17.40.050 - Designation procedure—Application—Review.

17.40.060 - Exterior alteration and new construction.

17.40.065 - Historic preservation incentives.

17.40.070 - Demolition and moving.

17.40.010 - Purpose.

It is declared as a matter of public policy that the protection, enhancement, perpetuation and use of improvements of special character or special historical or aesthetic interest or value is a public necessity and is required in the interest of the health, prosperity, safety and welfare of the people. The purpose of this chapter is to:

- A. Effect and accomplish the protection, enhancement and perpetuation of such improvements and of districts which represent or reflect elements of the city's cultural, social, economic, political and architectural history;
- B. Safeguard the city's historic, aesthetic and cultural heritage as embodied and reflected in such improvements and districts;
- C. Complement any National Register Historic districts designated in the city;
- D. Stabilize and improve property values in such districts;
- E. Foster civic pride in the beauty and noble accomplishments of the past;
- F. Protect and enhance the city's attractions to tourists and visitors and the support and stimulus to business and industry thereby provided;
- G. Strengthen the economy of the city;
- H. Promote the use of historic districts and landmarks for the education, pleasure, energy conservation, housing and public welfare of the city; and
- I. Carry out the provisions of LCDC Goal 5.

17.40.030 - Designated.

- A. The historic overlay district shall apply to the following:
 1. Historic districts, upon designation in accordance with this section;
 2. Conservation districts designated in accordance with this section;
 3. Landmarks as designated by this section; and
 4. Historic corridors designated in accordance with this section.
- B. The boundaries of the historic districts, the boundaries of conservation districts, historic corridors, the location of buildings and structures in conservation districts and the location of landmarks shall be designated on a special city zoning map or maps.
- C. The following are designated within the historic overlay district:
 1. The Canemah Historic District; the minimum boundaries of which are those designated by the United States Department of the Interior on the National Register of Historic Places as indicated in the city comprehensive plan.
 2. The McLoughlin Conservation District; the surveyed buildings indicated by map in the comprehensive plan shall constitute the designated structures in the McLoughlin Conservation District, along with any structures designated through the Historic Review Board designation process since initial adoption of the comprehensive plan on March 13, 1980.
 3. The Oregon Trail-Barlow Road Historic Corridor; properties identified in the 1993 Barlow Road Historic Corridor inventory of the Barlow Road by Clackamas County.
 4. Designations undertaken pursuant to Section 17.40.050. The established historic overlay district shall allow for the designation of two types of districts so that areas with a high concentration of historic structures are designated historic districts and areas with a lower concentration are designated conservation districts. Also allowed is the designation of structures of historic or architectural significance not located in an historic or conservation district as landmarks.

17.40.040 - Citizen involvement.

- A. The planning department shall be authorized to incur expenses in holding public workshops in the historic districts and conservation districts, distribute written information, show slides and answer questions on remodeling and rehabilitation of older buildings, and to educate the public in the need to comply with state and federal laws protecting or encouraging protection of antiquities and other related matters concerning historic preservation.
- B. Citizens making applications for district or landmark designations or for exterior alterations or new construction in an historic or conservation district, and historic corridor or on a landmark site may consult with and receive advice from the planning department staff concerning their applications.

17.40.050 - Designation procedure—Application—Review.

- A. Institution of Proceedings. The city commission, the planning commission, the historic review board, a recognized neighborhood group or any interested person may initiate the proceedings for designation of an historic or conservation district, landmark, or historic corridor as follows:
 1. The city commission or the historic review board may initiate designation proceedings by sending a written proposal or application to the planning staff. Such proposal is not subject to any minimal information requirements other than a description of the boundaries of the area to be designated.
 2. Any interested person or recognized neighborhood group may start designation proceedings by sending a written application to the planning staff.

- B. Application Information. The planning staff may specify the information required in an application and may from time to time change the content of that information, but at all times the planning staff shall require the following information:
1. The applicant's name and address;
 2. The owner's name and address, if different from the applicant;
 3. A description of the boundaries of the proposed district or a description of the proposed landmark;
 4. A map illustrating the boundaries of the proposed district or the location of the proposed landmark;
 5. A statement explaining the following:
 - a. The reasons why the proposed district or landmark should be designated,
 - b. The reason why the boundaries of the proposed district are adequate and suitable for designation,
 - c. The positive and negative effects, if any, which designation of the proposed district or landmark would have on the residents or other property owners of the area.
- C. The planning staff shall deliver a proposal or an application for the designation to the historic review board within thirty days after the day on which a proposal or application is received. The historic review board shall review the proposal on the application and prepare a written recommendation or decision approving or rejecting the proposed designation.
- D. In preparing the recommendation or decision, the historic review board shall limit its review to:
1. Whether the proposed district or landmark would serve the purpose of the historic overlay district as stated in Section 17.40.010; and
 2. Conformity with the purposes of the city comprehensive plan.
- E. City Commission Review of District.
1. The historic review board shall deliver a copy of its recommendation to the city commission within thirty days.
 2. The city commission shall hold a public hearing pursuant to procedures contained in Chapter 17.68.
 3. After the hearing, the city commission may engage in one of the following actions:
 - a. Refuse to designate the proposed district; or
 - b. Designate the proposed district by a duly enacted ordinance; or
 - c. Remand the matter to the historic review board for additional consideration of a specific matter or matters.
 4. The city commission may limit itself to the proposed district, and as so modified, approve it. Enlargement of the proposed district shall require additional notice and public hearing. The commission may hold such hearing or hearings.
 5. The approval or disapproval of the designation by the city commission shall be in writing and shall state the reasons for approval or disapproval.
 6. Amendment or Rescission. The district designation may be amended or rescinded after the board and city commission have utilized the same procedures required by this title for establishment of the designation. The board shall give priority to designation of potential districts and landmarks indicated in the city comprehensive plan.

17.40.060 - Exterior alteration and new construction.

- A. Except as provided pursuant to subsection I of this section, no person shall alter any historic site in such a manner as to affect its exterior appearance, nor shall there be any new construction in an historic district, conservation district, historic corridor, or on a landmark site, unless a certificate of appropriateness has previously been issued by the historic review board. Any building addition that is thirty percent or more in area of the historic building (be it individual or cumulative) shall be considered new construction in a district. Further, no major public improvements shall be made in the district unless approved by the board and given a certificate of appropriateness.
- B. Application for such a certificate shall be made to the planning staff and shall be referred to the historic review board. The application shall be in such form and detail as the board prescribes.
- C. Archeological Monitoring Recommendation. For all projects that will involve ground disturbance, the applicant shall provide:
1. A letter or email from the Oregon State Historic Preservation Office Archaeological Division indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the Oregon State Historic Preservation Office and that the Oregon State Historic Preservation Office had not commented within forty-five days of notification by the applicant; and
 2. A letter or email from the applicable tribal cultural resource representative of the Confederated Tribes of the Grand Ronde, Confederated Tribes of the Siletz, Confederated Tribes of the Umatilla, Confederated Tribes of the Warm Springs and the Confederated Tribes of the Yakama Nation indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the applicable tribal cultural resource representative and that the applicable tribal cultural resource representative had not commented within forty-five days of notification by the applicant.
- If, after forty-five days notice from the applicant, the Oregon State Historic Preservation Office or the applicable tribal cultural resource representative fails to provide comment, the city will not require the letter or email as part of the completeness review. For the purpose of this section, ground disturbance is defined as the movement of native soils.
- D. The historic review board, after notice and public hearing held pursuant to Chapter 17.50, shall approve the issuance, with conditions or disapprove issuance of the certificate of appropriateness.
2. The following exterior alterations to historic sites may be subject to administrative approval:
 - a. Work that conforms to the adopted Historic Review Board Policies.
- E. For exterior alterations of historic sites in an historic district or conservation district or individual landmark, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall be:
1. The purpose of the historic overlay district as set forth in Section 17.40.010
 2. The provisions of the city comprehensive plan;
 3. The economic use of the historic site and the reasonableness of the proposed alteration and their relationship to the public interest in the structure's or landmark's preservation or renovation;
 4. The value and significance of the historic site;
 5. The physical condition of the historic site;
 6. The general compatibility of exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used with the historic site;
 7. Pertinent aesthetic factors as designated by the board;
 8. Economic, social, environmental and energy consequences; and
 9. Design guidelines adopted by the historic review board.

- F. For construction of new structures in an historic or conservation district, or on an historic site, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall include the following:
1. The purpose of the historic conservation district as set forth in Section 17.40.010
 2. The provisions of the city comprehensive plan;
 3. The economic effect of the new proposed structure on the historic value of the district or historic site;
 4. The effect of the proposed new structure on the historic value of the district or historic site;
 5. The general compatibility of the exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used in the construction of the new building or structure;
 6. Economic, social, environmental and energy consequences;
 7. Design guidelines adopted by the historic review board.
- G. For construction of new structures in an historic corridor, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall include the following:
1. The purpose of the historic overlay district as set forth in Section 17.40.010
 2. The policies of the city comprehensive plan;
 3. The impact on visible evidence of the trail;
 4. The impact on archaeological evidence when there exists documented knowledge of archeological resources on the property;
 5. The visual impact of new construction within the historic corridor; and
 6. The general compatibility of the site design and location of the new construction with the historic corridor considering the standards of subsection G of this section.
- H. The following standards apply to development within historic corridors:
1. Within the Oregon Trail-Barlow Road historic corridor, a minimum of a thirty-foot wide-open visual corridor shall be maintained and shall follow the actual route of the Oregon Trail, if known. If the actual route is unknown, the open visual corridor shall connect within the open visual corridor on adjacent property.
 2. No new building or sign construction shall be permitted within required open visual corridors. Landscaping, parking, streets, driveways are permitted within required open visual corridors.
- I. In rendering its decision, the board's decision shall be in writing and shall specify in detail the basis therefore.
- J. Nothing in this section shall be construed to prevent the ordinary maintenance or repair of any exterior architectural features which does not involve a change in design, material or the outward appearance of such feature which the building official shall certify is required for the public safety because of its unsafe or dangerous condition.
- K. The following exterior alterations may be made subject to the administrative procedures as outlined below:
- Construction of fences on historic sites.
- Exterior alterations, excluding additions, to incompatible structures in the Canemah Historic District.
1. A notice of the proposed certificate of appropriateness shall be mailed to the following persons:
 - a. The applicant;
 - b. All owners of property within three hundred feet of the property which is the subject of application;
 - c. A recognized neighborhood association and a citizen involvement committee representative of the neighborhood involved, if the property which is the subject of the application lies wholly or partially within the boundaries of such organization.
 2. The failure of the property owner to receive notice shall not invalidate the action if a good faith attempt was made to notify all persons entitled to personal notice.
 3. Notice shall also be given by publication in a newspaper of general circulation in the area affected.
 4. Within ten days of the issuance of notice of the proposed certificate of appropriateness, any person who has received personal notice pursuant to subdivision 1 of this subsection or who demonstrates sufficient interest in the outcome to participate in such proceedings, as determined by the historic review board, may request a public hearing before the historic review board.
 5. Within forty-five days after a request for public hearing is made, a public hearing shall be held before the historic review board following procedures as established in Chapter 17.50
 6. The historic review board shall then deny or approve the application, either with or without conditions, following procedures as established in Chapter 17.50
 7. In the event no request for hearing is filed, the historic review board, through its chairperson and planning staff, shall issue a certificate of appropriateness in accordance with the notice given without further hearing.
 8. The board may adopt policies for review of applications of certificates of appropriateness in the historic overlay district. Such policies shall be adopted only after notice and an opportunity to be heard is provided and shall include specific opportunity for comment by the planning staff, the planning commission, and the city commission. Such policies shall carry out the city's comprehensive plan, especially those elements relating to historic preservation. In the absence of such policies, the board shall apply such elements directly.

17.40.065 - Historic preservation incentives.

- A. Purpose. Historic preservation incentives increase the potential for historically designated properties to be used, protected, renovated, and preserved. Incentives make preservation more attractive to owners of locally designated structures because they provide flexibility and economic opportunities.
- B. Eligibility for Historic Preservation Incentives. All exterior alterations of designated structures and new construction in historic and conservation districts are eligible for historic preservation incentives if the exterior alteration or new construction has received a certificate of appropriateness from the Historic Review Board per OCMC 17.50.110(c).
- C. Incentives Allowed. The dimensional standards of the underlying zone as well as for accessory buildings (OCMC 17.54.100) may be adjusted to allow for compatible development if the expansion or new construction is approved through historic design review.
- D. Process. The applicant must request the incentive at the time of application to the Historic Review Board.

17.40.070 - Demolition and moving.

- A. If an application is made for a building or moving permit to demolish or move all or part of a structure which is a landmark or which is located in a conservation district or an historic district, the building inspector shall, within seven days, transmit to the historic review board a copy of the transaction.
- B. The historic review board shall hold a public hearing within forty-five days of application pursuant to the procedures in Chapter 17.50
- C. In determining the appropriateness of the demolition or moving as proposed in an application for a building or moving permit, the board shall consider the following:
 - 1. All plans, drawings and photographs as may be submitted by the applicant;
 - 2. Information presented to a public hearing held concerning the proposed work;
 - 3. The city comprehensive plan;
 - 4. The purpose of this section as set forth in Section 17.40.010
 - 5. The criteria used in the original designation of the landmark or district in which the property under consideration is situated;
 - 6. The historical and architectural style, the general design, arrangement, materials of the structure in question or its fixtures; the relationship of such features to similar features of the other buildings within the district and the position of the building or structure in relation to public rights-of-way and to other buildings and structures in the area;
 - 7. The effects of the proposed work upon the protection, enhancement, perpetuation and use of the district, which cause it to possess a special character or special historic or aesthetic interest or value;
 - 8. Whether denial of the permit will involve substantial hardship to the applicant, and whether issuance of the permit would act to the substantial detriment of the public welfare and would be contrary to the intent and purposes of this section;
 - 9. The economic, social, environmental and energy consequences.
- D. The failure of the applicant to provide the information required by Subsection C.1.—9. shall be grounds for deeming the application incomplete.
- E. The board may approve or deny the demolition or moving request after considering the criteria contained in Section 17.40.070C. Action by the board approving or denying the issuance of a permit for demolition or moving may be appealed to the city commission by any aggrieved party, by filing a notice of appeal, in the same manner as provided in Section 17.50 for appeals. If no appeal of a demolition permit is filed, the building official shall issue the permit in compliance with all other codes and ordinances of the city.
- F. In any case where the city commission has ordered the removal or demolition of any structure determined to be dangerous to life, health or property, nothing contained in this title shall be construed as making it unlawful for any person, without prior approval of the historic review board, pursuant to this title, to comply with such order.

A. Where is the Site?

McLoughlin Historic Conservation District, the Canemah National Register Historic District, or on individually listed historic property outside of the districts?

What is the Immediate Context? The Block? The Neighborhood? What are the Mix of Existing Appropriate Historic Styles?

The site is located in the McLoughlin Historic Conservation District, on Center street one lot south of 5th Street. The currently vacant lot sits between two professional office buildings, adjacent to a large, open parking area and across the street from St. John the Apostle Catholic Church and School. Around the block are single and multiple unit residential buildings and the current office of BC Custom Construction.

The neighborhood currently contains a mix of both small and medium scale residential and commercial properties, including professional offices, clinics, apartments, a Clackamas County WorkSource office and the Pioneer Community Center. These buildings include a wide variety of architectural styles including residential craftsman, vernacular, Queen Anne victorian, foursquare and modern. The predominant commercial style is modern.

B. Decide which Style to use

Determining the appropriate style is the important first step toward successfully designing a compatible building in the district.

Decide which style direction to use from acceptable neighborhood styles and those in the applicable specific Historic District Design Guideline. The styles noted for the district have specific District modifications indicated.

The proposed new office is designed in the residential Queen Anne Victorian style. This style seems most appropriate considering the look of the majority of nearby buildings of similar use and size, including those on the same block and those on 5th Street, between Center and High Streets.

C. Siting and Building Form

C-1 Review basic zoning requirements for New Construction for the particular site (R3.5, R6, MUC etc) to understand basic setbacks, lot coverage issues.

The proposed new office will front Center St with the house and front porch approximately 2' from the property line. The on-site parking will be at the rear of the property and be screened with landscaping as required by other zoning requirements.

C-2 Review Siting, Building Form Principles and the Specific Historic District from Design Guideline. Note any requirements that are more specific than those found in the basic zoning.

The proposed building will face Center St and have an elevated front porch similar to most homes in the immediate area. The main level floor to floor height will be 11' and the upper level will have 9' ceilings, rather than the 14' main level floor to floor height dictated by the underlying zone for new commercial buildings to avoid overpowering the important bungalow/ prairie style landmark home immediately to the north and be consistent with other victorian style homes in the neighborhood.

C-3 Establish the Site Plan and the Overall Building Form. Is the use of the site and the building's placement on the site respectful of its context? Is the size, shape and bulk of the building consistent with the style chosen? Does it complement the neighborhood context? Is there too much "program" for the site or style?

The proposed building is sited to be consistent with the historic development pattern of the McLoughlin Neighborhood with street facing entry and large covered porch. Service areas and parking are located to the rear and the alley is utilized for vehicular access. The building form is a simple ell configuration with steeply pitched roof and cross gables facing the street. The building form and siting are complimentary and consistent with existing homes in the neighborhood.

D. Design Composition

D-1 Design the building and site starting with primary design groups and major elements, such as wings, roofline, secondary portions, porches, window groupings, dormers. Are these elements supportive or are they detractive to the historic district? Are they supportive of the style and building?

The proposed building has a simple overall form with a wraparound porch consistent with homes from the 1880- 1910 period within the neighborhood. Window configuration, siding and trim elements are typical of the period, but will be rendered in contemporary materials for durability and ease of maintenance.

D-2 Review the design: Is it in good proportion and is the composition balanced?

The proposed design is simple rectilinear building with a slightly elevated cross gable at the right side and lower offset gable at the porch above the entry.

D-3 Review the design and adjust to incorporate comments from the first review. Is the design representative of the style range and do the forms and individual features work toward a united design approach as viewed from the exterior?

Design advice from the Board included eliminating the porch railing, minimizing the number of porch columns and eliminating the masonry column bases that were included in the original design that was completed and approved more than eight years earlier. These changes have been made and Queen Anne style elements introduced at the Owners request. The revised design incorporates these changes.

D-4 Design the finer or more detailed portions of the building and site to fit within the framework established.

The revised design and final construction documents will include appropriate details of porch finials, pediments, window trim, rakes, soffits and all trim to be consistent with the Queen Anne Victorian style.

E. Specific Design Elements

E-1 Design and choose specific design elements, products, and materials that are allowable and consistent with the design styling and framework established.

Exterior elements; exclusive of spindle work have all been selected to be durable, low maintenance components that will replicate historic materials and be used in a composition that is historically appropriate. The spindle work components will be fabricated of primed wood and painted with two coats of paint. Fiberglass double hung windows with a profile to match historic wood windows are proposed. All openings will be cased with 5/4 x 4 sill and jamb trim and 5/4 x 6 head trim with a parting bead will be installed. A combination of straight and scalloped shingle type siding will be utilized at the upper level. 'Nichiha' fiber cement products will be utilized in this application since they have more thickness and a more realistic appearance than other products on the market. Smooth finish "Hardi-panel siding will be utilized at the main level to replicate cedar lap siding. "Azek" composite tongue and groove porch boards will be utilized at the wraparound porch to emulate painted fir flooring typically utilized.

E-2 Does the design still fit the style's 'vocabulary'? Have extraneous or excessive details, ornamentation, or materials been chosen that detract from the neighborhood context?

The design incorporates Queen Anne victorian elements in a fairly minimilistic manner appropriate for Oregon City. Elaborate stickwork, turrets or high style elements have not been incorporated since these were not common to this neighborhood. The Queen Anne elements are used sparingly to create a more appropriate "folk victorian" building design typical of this portion of the Mcloughlin neighborhood.

E-3 Do specific elements comply with the guideline? Are materials, colors and finishes selected? Visible equipment? Landscaping and plantings?

Materials, colors and finishes have been selected for the emulation of historic materials. The landscping will be designed by a registered Landscape Architect familiar with historic plant materials. No mechanical equipment will be located outside the building and garbage/ recycling areas are incorporated with the building design. All elements will comply with the design guidelines.



Adjacent building on Center Street to the south



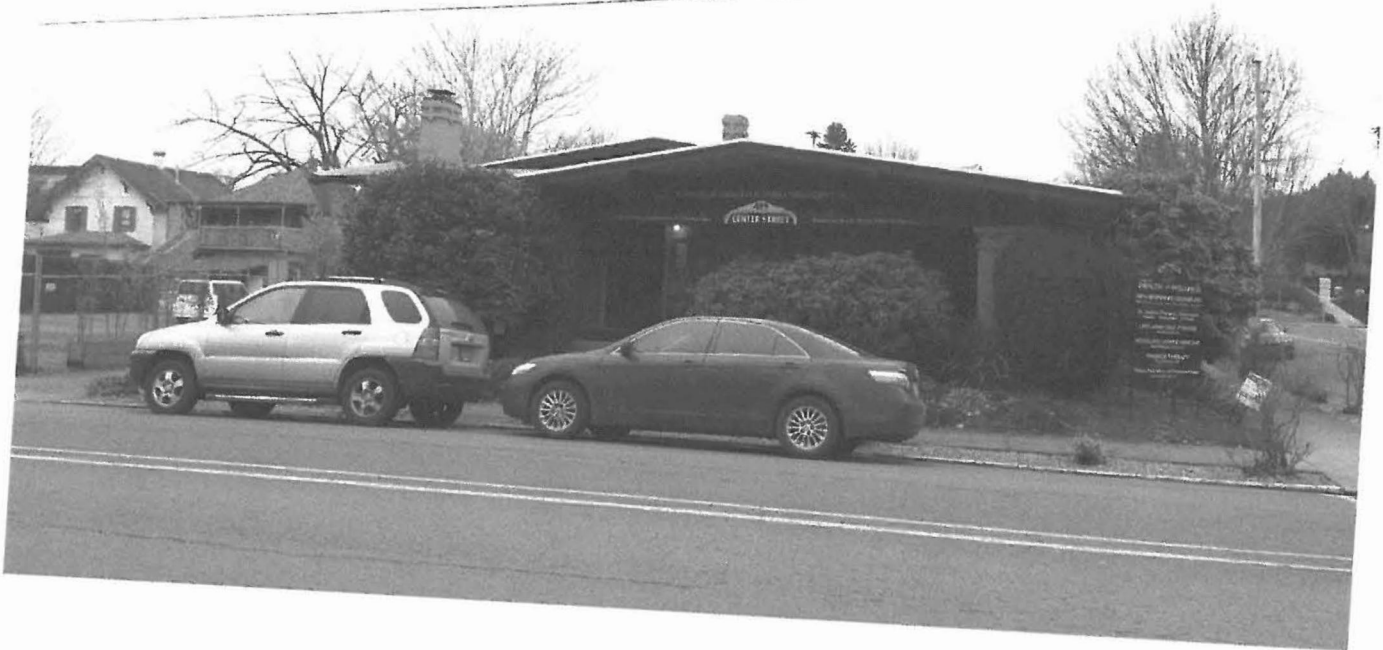
Existing buildings on High Street (same block)



Northeast corner of Center and 5th



Southeast corner of Center and 5th



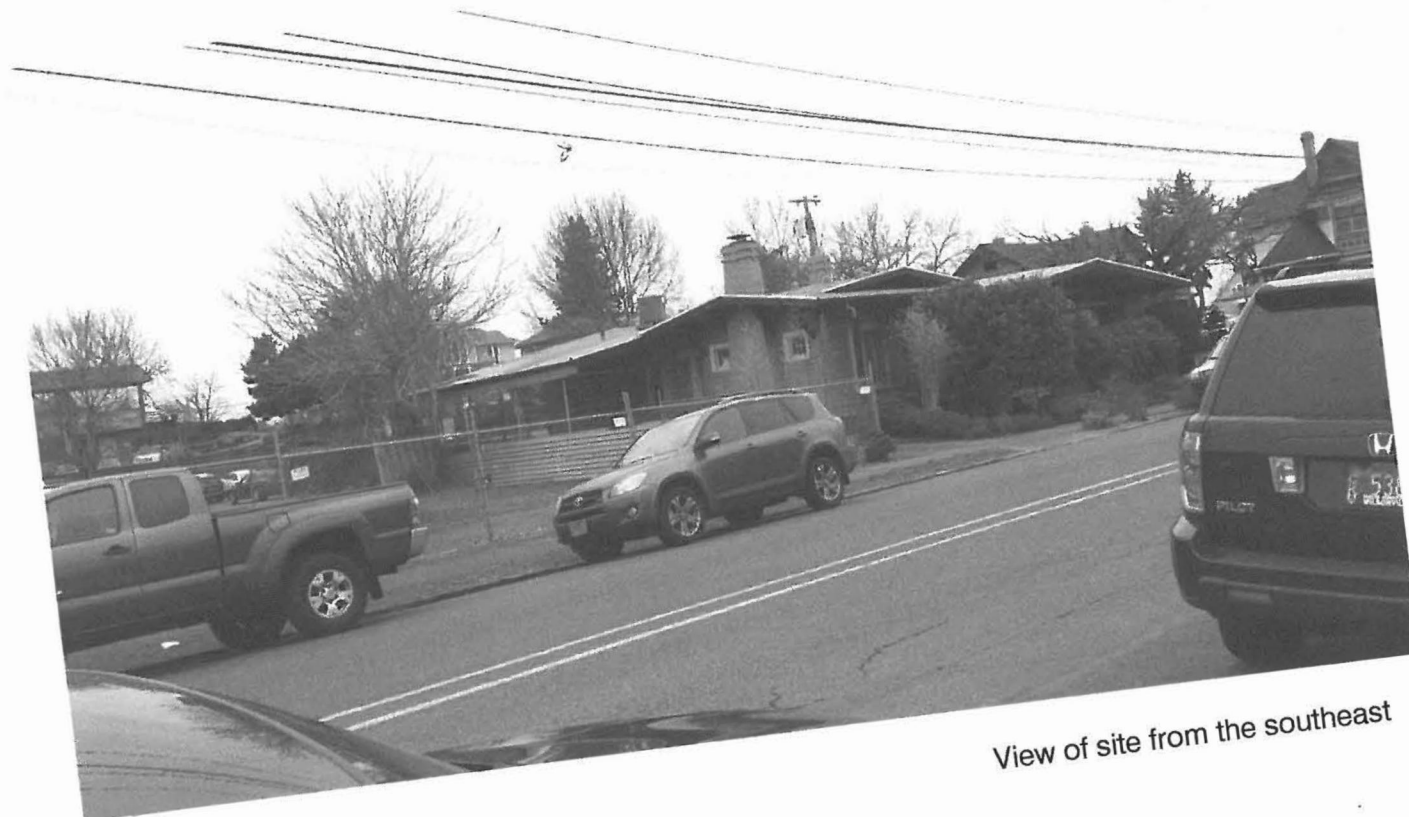
Southwest corner of Center and 5th



Northwest corner of Center and 5th



View of site from the northeast



View of site from the southeast



REAR ELEVATION

1/8" = 1'-0"



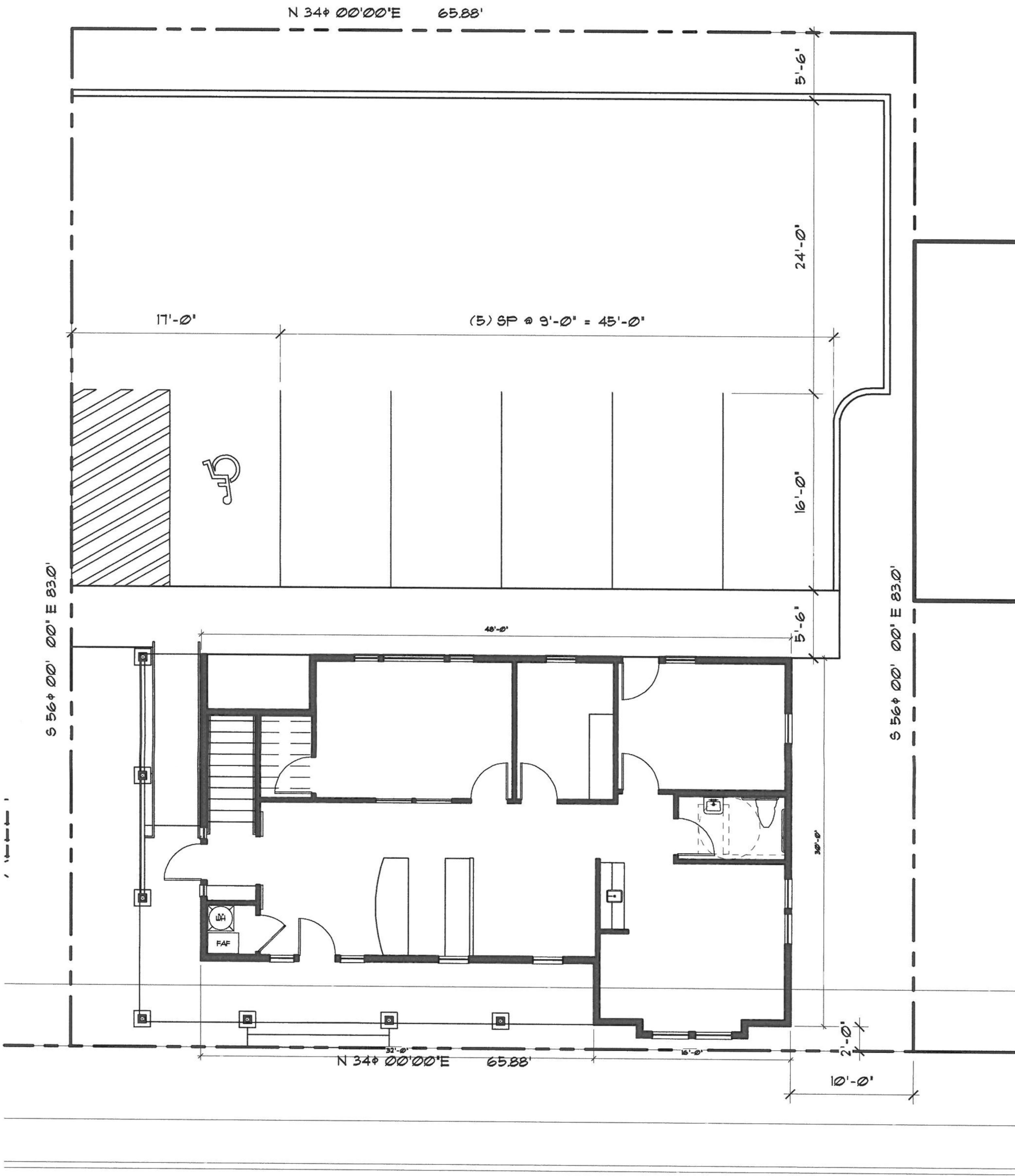
LEFT ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

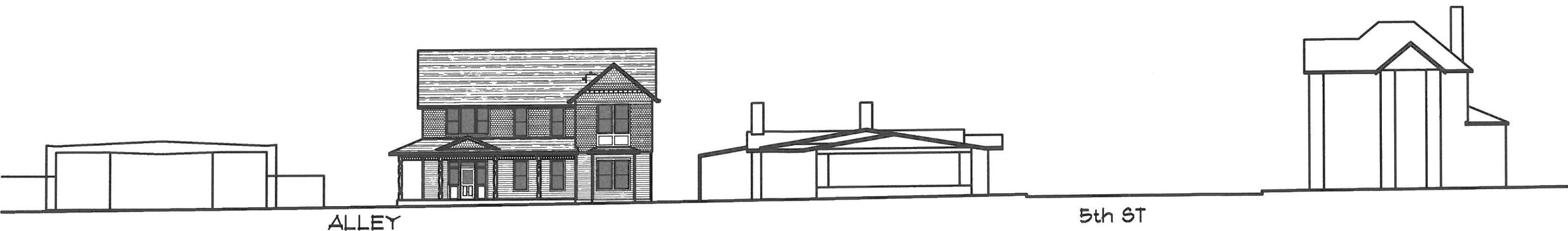
1/8" = 1'-0"



CENTER ST

PRELIMINARY SITE PLAN

1/8" = 1'-0"



CENTER ST STREETSCAPE ELEVATION

1" = 20'

STRAIGHT RUN FIBER CEMENT SHINGLE SIDING- PAINT COLOR 'B'

SCALLOPED FIBER CEMENT SHINGLES- PAINT COLOR 'D'

SPINDLE WORK FASCIA TRIM, TYP AT PORCH

TURNED WOOD COLUMNS- PAINT COLOR 'C'

COMP ROOFING

5/4 x 6 BARGE BD- PAINT COLOR 'C'

SCALLOPED FIBER CEMENT SHINGLE SIDING- PAINT COLOR 'D'

SLOPING WALL W/ STRAIGHT RUN FIBER CEMENT SHINGLE SIDING

BAND SAWN CORBELS ON 5/4 x 6 FASCIA TRIM CUT FROM 2"x 6" CEDAR @ 12" O.C.- PAINT COLOR 'C'

5/4 x 6 WINDOW HEAD TRIM W/ PARTING BD, TYP- PAINT COLOR 'C'

FIBERGLASS WINDOW W/ 1x4 JAMB AND SILL TRIM, TYP- PAINT COLOR 'C'

SMOOTH 'HARDI-PANEL' SIDING W/ 1x4 'HARDI-TRIM' FRAME

2 1/2" CROWN MOULD TRIM

'HARDI-PLANK' LAP SIDING- PAINT COLOR 'A'

FRONT ELEVATION

1/8" = 1'-0"



OREGON CITY

Community Development – Planning

221 Molalla Ave. Suite 200 | Oregon City OR 97045
Ph (503) 722-3789 | Fax (503) 722-3880

TRANSMITTAL

IN-HOUSE DISTRIBUTION

- ☐ Building Official
- ☐ Development Services Manager
- ☐ Public Works Operations
- ☐ City Engineer / Public Works Director
- ☐ GIS
- ☐ Parks Manager
- ☐ Addressing
- ☐ Police
- ☐ Traffic Engineer

MAIL-OUT DISTRIBUTION

- ☐ CICC
- ☐ Neighborhood Association Chair
- ☐ Neighborhood Association Land Use Chair
- ☐ Clackamas County - Transportation
- ☐ Clackamas County - Planning
- ☐ Fire Chief
- ☐ ODOT -
- ☐ ODOT -
- ☐ School District# 62
- ☐ Tri-Met
- ☐ Metro -
- ☐ Oregon City Postmaster
- ☐ DLCD

COMMENTS DUE BY: June 15, 2018 to be included in staff report
HEARING DATE: **June 24, 2018**
HEARING BODY: ___ Staff Review; ___ PC; XX HRB; ___ CC
FILE # & TYPE: HR 18-06 Historic Review
PLANNER: Christina Robertson-Gardiner, Planner
APPLICANT: BC Custom Homes/Todd Iselin
REQUEST: Approval of a new office building in the McLoughlin Conservation District. Previously approved file HR 15-03 has expired.
WEBSITE: <https://www.orcity.org/planning/project/hr-18-06-bc-custom-homes-office>
ZONING: "MUC" Single Family District.
LOCATION: 415 Center Street, Oregon City, OR 97045

This application material is referred to you for your information, study and official comments. If extra copies are required, please contact the Planning Department. Your recommendations and suggestions will be used to guide the Planning staff when reviewing this proposal. If you wish to have your comments considered and incorporated into the staff report, please return the attached copy of this form to facilitate the processing of this application and will insure prompt consideration of your recommendations. Please check the appropriate spaces below.



- ___ The proposal does not conflict with our interests.
___ The proposal conflicts with our interests for the reasons attached.
___ The proposal would not conflict our interests if the changes noted below are included.

Signed

PLEASE RETURN YOUR COPY OF THE APPLICATION AND MATERIAL WITH THIS FORM.

Community Development Department, 221 Molalla Avenue, Suite 200, P.O. Box 3040, Oregon City, OR 97045, (503) 722.3789
www.orcity.org

Community Development Department, 221 Molalla Avenue, Suite 200, P.O. Box 3040, Oregon City, OR 97045, (503) 722.3789
www.orcity.org

Community Development Department, 221 Molalla Avenue, Suite 200, P.O. Box 3040, Oregon City, OR 97045, (503) 722.3789
www.orcity.org

Save the Tollefson House

HR 18-03 New Construction in the Historic Overlay and reduction in the size of a Landmark

REQUEST: Reducing the size of the Knute Tollesfon House in conjunction with the construction of 23 new townhome style apartments onsite.

LOCATION: 15831 Harley Avenue, Oregon City, OR 97045

PROJECT WEBSITE: <https://www.oregoncity.org/planning/project/hr-18-03-new-construction-historic-overlay-and-reduction-size-landmark>

CONTACT PERSON: Christina Robertson-Gardiner, Senior Planner (503)496-1564

Reasons against the landmark size reduction and new construction

- A. The size of the land (acreage) that the home resides on is important to its historical relevance.
- B. The centuries old oak tree in the corner of the property is an important part of the historical landmark.
- C. Being able to see the home (conspicuous) is important to the landmarks significance and surrounding it with new constructions negatively affects its visibility.
- D. Placing newer buildings on the around the landmark reduces its historical significance.
- E. Maintaining the historic properties in their current state in Park Place is important to me and the Tollefson house contributes to the integrity of the pertinent historic period in the neighborhood.
- F. It is an important or critical element in establishing or contributing to the continuity or character of the street, neighborhood, or community in its current state and reducing the landmark would negatively affect said contribution.

ENTERED INTO THE RECORD
DATE RECEIVED: 6/26/18
SUBMITTED BY: ALAN REDBURN
SUBJECT: HR 18-03

Please check the reasons associated with the letters above and provide your name, address and signature.

By signing, you agree to allow Alan Redbourn to speak on your behalf at future Oregon City Historic Review Board Meetings.

A	B	C	D	E	F	Name	Address	Signature
X	X	X	X	X	X	ANDY MINSKE	15898 Apperson Or. City	Andy Minske
X	X	X	X	X	X	Rita Helberg	15896 Apperson O.C. OC	Rita Helberg
X	X	X	X	X	X	Vernon Hulberg	15896 Apperson O.C. OR	Vernon Hulberg
X	X	X	X	X	X	Amber Beasley	15860 Harley Ave OC OR	Amber Beasley
X	X	X	X	X	X	Byron Broadie	15824 Harley Ave OC. OR	Byron Broadie
X	X	X	X	X	X	Olivia Broadie	15824 Harley Ave. O.C. O.R	Olivia Broadie
X	X	X	X	X	X	Russell Miller	13992 Taylor Lane OC Oregon	Russell Miller
X	X	X	X	X	X	Dakota Miller	13992 Taylor Lane OC Oregon	Dakota Miller
X	X	X	X	X	X	Hardy Richelle	13992 Taylor Lane OC Oregon	Hardy Richelle
X	X	X	X	X	X	Dora Tomon	14000 S. Forsythe Rd OC	Dora Tomon
X	X	X	X	X	X	Lee Casey	15835 S. Apperson	Lee Casey
X	X	X	X	X	X	Scott Brown	13686 Melinda	Scott Brown
X	X	X	X	X	X	Li Jun	15908 Apperson	Li Jun
X	X	X	X	X	X	ORVILLE BAXTER	15921 Apperson OC	Orville Baxter
X	X	X	X	X	X	Chris Coleman	15920 Apperson Dr	Chris Coleman
X	X	X	X	X	X	John Renner	13916 Forsythe RD	John Renner
X	X	X	X	X	X	Cynthia Tarkenton	13916 Forsythe	Cynthia Tarkenton
X	X	X	X	X	X	Inna Wornik	15848 Harley Ave Oregon City 97045	Inna Wornik
X	X	X	X	X	X	Wanda Wornik	15848 Harley Ave OR 97045	Wanda Wornik
X	X	X	X	X	X	William Kern	15836 Harley Ave	William Kern