



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Meeting Agenda Urban Renewal Commission

Wednesday, September 2, 2015

6:30 PM

Commission Chambers

REVISED

6:10 p.m. - Executive Session of the Urban Renewal Commission

Pursuant to ORS 192.660(2)(h): To consult with counsel concerning the legal rights and duties of a public body with regard to current litigation or litigation likely to be filed.

1. Call To Order and Roll Call

2. Citizen Comments

3. Adoption of the Agenda

4. General Business

4a. [15-477](#) Adaptive Reuse/Building Rehabilitation Program Grant for 615 High Street

Sponsors: Economic Development Manager Eric Underwood

Attachments: [Staff Report](#)

[615 High Street Grant Application](#)

5. Future Agenda Items

6. City Manager's Report

7. Adjournment

Public Comments: The following guidelines are given for citizens presenting information or raising issues relevant to the City but not listed on the agenda.

- Complete a Comment Card prior to the meeting and submit it to the staff member.
- When the Chair calls your name, proceed to the speaker table and state your name and city of residence into the microphone.
- Each speaker is given 3 minutes to speak. To assist in tracking your speaking time, refer to the timer at the dais.
- As a general practice, Oregon City Officers do not engage in discussion with those making comments.

Agenda Posted at City Hall, Pioneer Community Center, Library, and City Web site(oregon-city.legistar.com).

Video Streaming & Broadcasts: The meeting is streamed live on Oregon City's Web site at www.orcity.org and is available on demand following the meeting.

ADA: City Hall is wheelchair accessible with entry ramps and handicapped parking located on the east side of the building. Hearing devices may be requested from the City staff member prior to the meeting. Disabled individuals requiring other assistance must make their request known 48 hours preceding the meeting by contacting the City Recorder's Office at 503-657-0891.



City of Oregon City

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Staff Report

File Number: 15-477

Agenda Date: 9/2/2015

Status: Agenda Ready

To: Urban Renewal Commission

Agenda #: 4a.

From: Economic Development Manager Eric Underwood

File Type: Report

SUBJECT:

Adaptive Reuse/Building Rehabilitation Program Grant for 615 High Street

RECOMMENDED ACTION (Motion):

This proposed grant request is \$150,000 for the property located 615 High Street submitted by Ben James (owner/applicant). Staff requests that the Urban Renewal Commission consider staff's approval of a grant award for the project of \$112,500 at this time, with the potential of awarding the additional \$37,500 when the applicant provides documentation to City staff showing that 25% of the leasable space is being used for non-office space, (i.e. retail and/or restaurant) which complies with City zoning code.

BACKGROUND:

This fiscal year, the Oregon City Urban Renewal Commission set aside \$200,000 into an Adaptive Reuse/Building Rehab program to encourage investment and upgrades to private property by encouraging significant rehabilitation that improves the value of existing commercial property and supports the highest and best use of commercial property within the Urban Renewal District.

The program is a matching grant intended to fund a limited number (one or two) medium- to large-scale internal rehabilitation (non-facade) projects. A typical project will be a combined minimum of \$100,000, with a maximum offer for any one project of \$150,000. Particular emphasis and priority is placed on rehabilitation projects that incorporate mixed-use elements, consist of quality construction and add value to the urban renewal area. There are two application periods throughout the fiscal year, one in July and the second in January (should funds still be available).

Mr. James purchased this building in June 2014 with the intent of occupying 30% of the space and leasing the remainder. His owner occupied space and another 10-15% of the building, which consists of common use and circulation areas, will be renovated for immediate occupancy. The remainder will be finished to a warm shell suitable for tenant improvements. This building is the backdrop to the Municipal Elevator and one of the first views when entering the city from the Arch Bridge. It is listed in the city's Historic Resource Inventory as a "Modern Commercial" structure. The applicant was awarded a \$40,000 Storefront grant on June 17, 2015 for exterior improvements that will keep with the mid-century style.

Grant funds for this project will be used for significant renovations to make it tenable for up to 21 new employees (as estimated by applicant). This building currently sits vacant and currently not suitable for habitation. Following remediation existing concrete will be sand blasted and remained exposed where possible; floors will be stained concrete; a new guardrail system consisting of vertical stainless steel cables and steel handrails will installed in the upper lobby and connect to the lower lobby; millwork will be added as accent walls, doors and trim finish; and walls will framed, dry walled and painted. Recessed lighting and LED rope lighting will be added. Common areas that include restrooms, trash room and mechanical/electrical rooms, common hallways and lobbies are included in these renovations. Mechanical, electrical and portions of the plumbing systems will be upgraded to support a diverse range of tenants. At the time the application was submitted the owner was in discussions with a high scale restaurant though no agreement is currently in place.

A staff site visit and review was conducted for this application using the worksheet and project evaluation matrix included in the application information packet. As part of the review process, an application must obtain an average score of 70% or higher in order to be considered and the staff review of this application resulted in an average score of 83%. The Grant Review Committee unanimously agrees that the project is a quality project, not only in materials and design, but also significantly increases the value of the building and overall area. Additionally, it will bring back jobs lost since the building has been vacant over the years. The basis for the 25% holdback (\$37,500) as proposed by the review committee is to assure that this project does indeed include a mixed-use component based on noted discussions between the applicant and potential restaurant tenant, which have not be finalized.

This proposed project for a high profile building on the Promenade would provide economic development through jobs, as well as an increased tax basis within the Downtown Urban Renewal District. In addition, the applicant notes that within the next five years the vision for the property is to build over the existing parking area with two additional floors of leasable space for tenants based on market conditions.

BUDGET IMPACT:

Amount: \$150,000

FY(s): 2015-16

Funding Source: Urban Renewal Adaptive Reuse Rehab Program



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BUDGET IMPACT:

Amount: \$150,000

FY(s): 2015-16

Funding Source: Urban Renewal Adaptive Reuse Rehab Program

ADAPTIVE REUSE/BUILDING REHABILITATION GRANT APPLICATION

615 HIGH STREET



July 13, 2015

Eric Underwood
City of Oregon City
625 Center Street
P. O. Box 3040
Oregon City, Oregon 97045

Re: *Adaptive Reuse/Building Rehabilitation Grant Program*

Dear Mr. Underwood,

Thank you for your consideration of the building located at 615 High Street for the Adaptive Reuse/Building Rehabilitation Program. This location holds a significant place in the history of Oregon City and downtown. Originally the location of the James Chase House, this site has served as a beacon on the cliffside for over a century. James Chase served on the city council for many years, and in 1914, Mrs. Chase fought, to no avail, against the location of the municipal elevator in front of her home on the bluff. After several owners, years of neglect and changes of use within the James Chase House, it was demolished in the 1960's, which was a very controversial decision at the time.

In 1965 Security Pacific Bank constructed a new and innovative building on the site. Rather than building upward, this low one story building, sunken below High Street, maximizes the site with a simple entry pavilion and roof top parking. This unassuming gesture gave the vista of the Willamette River, downtown street scape and trees along the hills of West Linn back to the pedestrians along High Street. The entry pavilion is slightly more than a glass box using the ornamentation for the mullions to give texture to the façade. Clear glass allows the building to disappear to a large degree. One can see through the building entry pavilion from High Street or from downtown below. The original Architect (name unknown) designed a generous public amenity by providing a public plaza off the main level opening to the municipal elevator. As an elegant gesture, the site welcomes citizens as they emerge from the elevator lobby.

This building is the backdrop to the municipal elevator and one of the first views when entering the city from the Oregon City/West Linn Arch Bridge.

The facility is listed in the city's Historic Resource Inventory as a "Modern Commercial" structure. The proposed alterations are simple and in keeping with the style of the exterior renovations. Years of deferred

maintenance has left the building in an uninhabitable state for any use. All interior finishes as well as mechanical, electrical and plumbing systems must be replaced. The building will be stripped down to its concrete structure to resolve several issues with water intrusion and organic growth. The entirety of the building will undergo a significant renovation to make it habitable once again.

Approximately 40%-45% of the building will undergo significant renovations suitable for immediate occupancy. The owner intends to occupy approximately 30% of the building. Another 10%-15% of the building will undergo alterations to circulation and common use. These will include restrooms, trash room and mechanical/electrical rooms, common hallways and lobbies. This shall include the interior of the iconic entry pavilion, lobby and stairs visible from the Oregon City/ West Linn Bridge. A new soffit and lighting matching the exterior shall extend into the interior and down the vertical wall plane on the north face of the stair corridor. The stair corridor fails to conform to basic Fire and Life Safety guidelines. The stairwell shall be equipped with a new handrail and stainless steel cables stretching from the ceiling to the floor serving as fall protection as well as a visually porous and artistic expression. From the bridge and Main Street during the day the cables will be unseen. Lighting during the evening shall illuminate the cables, expressing a bold design element. From the interior and the promenade, the cables shall be visible at all times.

Conceptual renderings of the office space are included with current photos to give an idea of the extent of the improvements. The concrete structure shall be sand blasted, then remain exposed where possible, to draw out the natural beauty of the creative office space which is in high demand in today's market. The bank's original vault shall be converted into a conference room. The 11'-6" tall ceilings shall remain exposed where not insulated.

The remaining half of the building shall be improved to a shell condition so that a tenant may come in and improve the space as best suits their needs. The mechanical and electrical and portions of plumbing systems shall be upgraded to accommodate a diverse range of tenants, including, business or professional office, coffee shop, restaurant, barber shop, ambulatory healthcare, laboratories for testing and research, etc. The owner is currently in discussions with a high scale restaurant though no agreement is currently in place.

Given that restaurants have a high trip count, the transportation SDC can be cost prohibitive to small business owners. This site is unique in that the original use was a bank branch which carries a very high trip count. Unlike many other adaptive reuse projects with a standard office, retail or commercial use, transportation SDC should not be cost prohibitive in this location.

The short term vision for this property is to acquire a diverse grouping of tenants and establish a record of solvency. Within the next five years the vision for this property is to build over the existing parking surface with an additional two floors of leasable space. This space shall boast some of the most alluring vistas in the city. The end use of the uppers floors will be entirely dependent on market conditions at that time. The preliminary plans are in the Schematic Design Phase and have explored residential uses to maximize shared parking on site.

Apart from the building's allowed occupancy by code, an Architect typically assigns an area per employee in the Programming Phase of the design to determine the amount of space required for a business. The inverse of this formula can be used to approximate the number of employees an existing space may accommodate.

Typical office uses assume 200-250 square feet per employee with an efficiency ratio of 80%. This building is approximately 6,300 square feet. $6,500 \text{ sf} \times .8 / 250\text{sf/employee} = 21$ employees. One could conservatively estimate this building, when fully leased, will accommodate upwards of 21 new employees.

This building currently sits vacant and, in its current capacity, not suitable for habitation. Time and neglect has taken its toll on this structure; much as it did with the James Chase House. Improvements are required to reinvigorate and bring economic viability to the building. These improvements, along with exterior improvements, are expected to bring significant value. The target rent would be \$18/NNN and based on 6,500 square feet and a market cap rate of 7% that would increase the value to \$1,671,428.57. This is a significant rise from its current assessed/ market value of 280,000.00.

We hope you will find this opportunity as compelling as the project team does and partner with us in the renewing of this Oregon City landmark.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Derek Metson', with a long horizontal flourish extending to the right.

Derek Metson, AIA, NCARB

Principal



Adaptive Reuse/Building Rehabilitation Program

URBAN RENEWAL COMMISSION

City of Oregon City
625 Center Street
P.O. Box 3040
Oregon City, Oregon 97045
Phone 503.657.0891
Fax 503.657.7892
www.orcity.org

APPLICANT INFORMATION

APPLICANT NAME: Ben James	APPLICANT E-MAIL: ben.james@lpl.com
APPLICANT ADDRESS: 1209 7th St. Oregon City, OR 97045	APPLICANT PHONE: 503.607.0809
NAME of PROPERTY OWNER (if different):	
PROPERTY OWNER'S MAILING ADDRESS:	PROPERTY OWNER'S PHONE:
PROPERTY OWNER'S CITY, STATE, ZIP:	PROPERTY OWNER'S FAX:

SITE INFORMATION

SITE ADDRESS: 615 High Street,	BUILDING TAX LOT & MAP NUMBER (if known): 22e31ab00200
CITY, STATE, ZIP: Oregon City, Oregon 97045	OWNER OCCUPIED OR LEASED? 30% owner occupied 70% leasable
EXISTING SQUARE FEET 6,500 sf	TENANT NAME(S): Ben James Investment planing
CURRENT USE OF BUILDING: None	
Is the building on the local historic register or within historic overlay district? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO This building is in a historic district but not a historic building	
If yes, has the building plan been reviewed and approved by the Historic Review Committee? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Not req.	

GRANT REQUEST INFORMATION AND SCHEDULE

GRANT REQUEST AMOUNT: \$ \$150,000
PRIVATE TO PUBLIC MATCH AS RATIO: <u>1 / 2</u>
AMOUNT AND SOURCE OF PRIVATE MATCHING FUNDS (i.e., savings account, line of credit, etc.): Personal Savings and investments
AMOUNT & SOURCE OF ADDITIONAL GRANTS OR FUNDING (should not include private match): \$40,000 for the exterior renovation has been awarded.
TOTAL SOURCES OF FUNDING (excluding grant request): \$ _____

AUTHORIZATION FOR CREDIT CHECK ☒ YES ☐ NO

SIGNATURE: 

ANTICIPATED START DATE OF CONSTRUCTION:

August

ANTICIPATED FINISH DATE OF CONSTRUCTION:

ARCHITECT INFORMATION

NAME:

Greenbox Architecture, LLC. Derek Metson, AIA

E-MAIL:

derekm@greenboxpdx.com

MAILING ADDRESS:

1300 John Adams Street

PHONE:

503-380-7114

CITY, STATE, ZIP:

Oregon City, OR 97045

FAX:

ARCHITECT CERTIFICATION NUMBER (applicant's architect fees are eligible as a grant expense if architect is Oregon certified): Oregon Architects registration number 5892 Architecture firms registration 1043-AF

PROJECT SUMMARY

IN THE SPACE BELOW PROVIDE A BRIEF DESCRIPTION OF PROPOSED PROJECT (up to 300 words).

Approximately 40%-45% of the building will undergo significant renovations suitable for immediate occupancy. The owner intends to occupy approximately 30% of the building. Another 10%-15% of the building will undergo alterations to circulation and common use. These will include restrooms, trash room and mechanical/ electrical rooms, common hallways and lobbies. This shall include the interior of the iconic entry pavilion, lobby and stairs visible from the Oregon City/ West Linn Bridge. The remainder of the building shall be finished to a warm shell suitable for tenant improvements.

A COMPREHENSIVE PROJECT PROPOSAL MUST ACCOMPANY THIS APPLICATION AND INCLUDE THE FOLLOWING. THESE DETAILS WILL HELP URBAN RENEWAL COMMISSIONERS BETTER UNDERSTAND THE PROPOSED PROJECT. PLEASE USE THIS LIST AS A CHECKLIST OF ALL ITEMS THAT MUST BE PART OF YOUR APPLICATION PACKAGE.

- ☐ COMPLETED APPLICATION
- ☐ DETAILED WRITTEN DESCRIPTION OF THE SCOPE OF THE PROJECT
- ☐ PROJECT COSTS/BUDGET (INCLUDING CONSTRUCTION EXPENSES, FEES, PERMITS, DESIGN COSTS)
- ☐ PHOTOS OF EXISTING USE AND SITE
- ☐ OFFICIAL ARCHITECTURAL AND ENGINEERING RENDERINGS/DRAWINGS FROM A LICENSED ARCHITECT IN 11 17" FORMAT
- ☐ A MATERIALS SPEC BOARD OR DETAILED DESCRIPTION OF MATERIALS
- ☐ DOCUMENTATION OF OWNERSHIP (INCLUDING, BUT NOT LIMITED TO DEED OF TRUST) OR WRITTEN AUTHORIZATION FROM PROPERTY OWNER
- ☐ ORGANIZATIONAL PAPERS, IF NOT A SINGLE OWNER
- ☐ DOCUMENTATION SHOWING PROJECT FUNDING AND ANY GRANTS RECEIVED (INCLUDING, BUT NOT LIMITED TO BANK STATEMENTS OR LETTERS)
- ☐ FINANCIAL PRO-FORMA DOCUMENTING THE LOAN-TO-VALUE RATIO AND OTHER ECONOMIC DETERMINANTS, IF A LOAN IS OBTAINED.
- ☐ COMPETITIVE BIDS FROM THREE LICENSED AND BONDED TRADES/PROFESSIONALS
- ☐ CONSTRUCTION SCHEDULE
- ☐ LAND USE APPROVAL, IF NEEDED (SEE STATEMENT FORM IN THIS PACKET)
- ☐ HISTORIC REVIEW BOARD APPROVAL, IF NEEDED (SEE STATEMENT FORM IN THIS PACKET)
- ☐ COPIES OF CURRENT OREGON CITY BUSINESS LICENSE
- ☐ SUBMIT FIVE (5) COPIES OF APPLICATION AND SUPPORTING DOCUMENTS
- ☐ CERTIFICATE OF INSURANCE (THIS WILL BE REQUIRED UPON AWARDING OF A GRANT, IDENTIFYING THE URBAN RENEWAL COMMISSION AS ADDITIONALLY INSURED)


The applicant understands that the proposed improvements must be reviewed and approved by the Oregon City Urban Renewal Commission, or designee. Certain changes or modifications may be required by the Urban Renewal Commission prior to final approval.

The applicant understands that a grant information sign listing the Urban Renewal Commission Public Contribution must be posted five (5) days prior to, during, and five (5) days post construction.

CERTIFICATION OF APPLICANT

The applicant certifies that all information in this application and all information furnished in support of this application is given for the purpose of obtaining a matching grant and is true and complete to the best of the applicant's knowledge and belief.

If the applicant is not the owner of the property to be rehabilitated, or if the applicant is an organization rather than an individual, the applicant certifies that he/she has the authority to sign and enter into an agreement to perform the rehabilitation work on the property. Evidence of this authority is attached.

APPLICANT'S SIGNATURE: 	CO-APPLICANT'S SIGNATURE (if applicable)
DATE: 7/13/2015	DATE:

July 15, 2015

Eric Underwood
City of Oregon City
625 Center Street
P. O. Box 3040
Oregon City, Oregon 97045

Re: Storefront Improvement Grant Program - Project costs/budget

Dear Mr. Underwood,

The following is a revised accounting of the project budget. Additional information and a break out of specific construction expenses can be found in the construction cost estimates.

Construction Cost:	\$372,200
Roof and parking area:	\$59,000
Hazardous material abatement:	\$38,000
Permits and Fees:	\$6,000
Design Fees:	\$28,000
Loan fees:	\$15,000
Contingency 5%:	\$25,900
Total:	\$543,900

If you have any further questions please contact our office at any time.

Sincerely,



Derek Metson, AIA, NCARB
Principal



JHC COMPANIES
JHC COMMERCIAL, LLC
CCB #158061
503-624-7100
www.jhc-companies.com

DATE: 7/14/2015
JOB NAME: High St Interior
EST. NUMBER: C15-111
SIZE: 6300
UNITS:

7/14/2015 4:44 PM
Allowance
Page 1 of 2

CODE	ITEM	QUANTITY	UNIT COST	TOTAL	COMMENTS
GENERAL CONDITIONS					
007890	FEES & PERMITS	1		\$0	By Owner
013101	PROJECT MANAGER	1	4,400.00	\$4,400	
013103	LABOR SUPERINTENDENT	8	2,200.00	\$17,600	
013301	SHOP DRAWINGS	1	140.00	\$140	
013301	SUBMITTALS, SAMPLES	1	200.00	\$200	
014001	SAFETY REQUIREMENTS	1	300.00	\$300	
014501	TESTING & INSPECTION SERVICES	1		\$0	By Owner
014503	LABOR PUNCH LIST	10	45.00	\$450	
014504	PUNCH LIST MATERIALS	1	150.00	\$150	
015104	TEMPORARY LIGHTING	1	250.00	\$250	
015107	DIGITAL COMMUNICATIONS	1	360.00	\$360	
015109	TEMPORARY WATER	1	225.00	\$225	
015202	TEMPORARY SANITARY FACILITIES	1	400.00	\$400	
015406	EQUIPMENT RENTAL	1	800.00	\$800	
015408	JOB SITE SUPPLIES/CONSUMABLES	1	240.00	\$240	
015801	PROJECT ID & SIGNS	1	140.00	\$140	
017401	LABOR CLEAN UP	8	140.00	\$1,120	
017403	DROP BOX / DUMP FEES	1	500.00	\$500	
017407	FINAL CLEANING	6,290	0.25	\$1,573	
TOTAL GENERAL CONDITIONS				\$28,848	
SITE WORK & DEMOLITION					
021101	HAZARDOUS MAT. ABATEMENT	1		\$0	By Owner
022202	SELECTIVE DEMOLITION	1	21,350.00	\$21,350	Mold Remediation/Fungicide
022205	SAWCUTTING	1	1,500.00	\$1,500	
026133	SAND BLASTING	1	6,000.00	\$6,000	
TOTAL SITE WORK & DEMOLITION				\$28,850	
CONCRETE					
033100	CAST-IN-PLACE CONCRETE	1	1,250.00	\$1,250	
033543	POLISHED CONCRETE FINISHING	1	26,500.00	\$26,500	
033910	SLAB SEALER	1		\$0	Included in 033543
TOTAL CONCRETE				\$27,750	
MASONRY					
TOTAL MASONRY				\$0	
STRUCTURAL STEEL					
055100	METAL FABRICATIONS	1	4,950.00	\$4,950	
057200	METAL RAILINGS	1		\$0	Included in 055100
TOTAL STRUCTURAL STEEL				\$4,950	
CARPENTRY					
062001	FINISH CARPENTRY / INTERIOR	1	10,000.00	\$10,000	Wood Accent Walls Allowance
064100	CABINETS / CASEWORK	1	16,450.00	\$16,450	3 Laminate Tops, Corian in Restrooms,
064150	COUNTERTOPS	1	1,000.00	\$1,000	Granite Tile Allowance
TOTAL CARPENTRY				\$27,450	
THERMAL & MOISTURE PROTECTION					
072100	BUILDING INSULATION	1	15,500.00	\$15,500	R-38 Batts at Ceiling w/ Black VB
TOTAL THERMAL & MOISTURE PROTECTION				\$15,500	
DOORS & WINDOWS					
081000	LABOR DOORS & HARDWARE	13	175.00	\$2,275	
081100	STEEL DOORS & FRAMES	1	15,950.00	\$15,950	
082100	WOOD DOORS	1		\$0	Included in 081100
084100	ENTRANCE & STOREFRONTS	1	3,850.00	\$3,850	3 Panel Sliding Door at Conference Room
087100	DOOR HARDWARE	1		\$0	Included in 081100
088100	INTERIOR GLAZING	1		\$0	Included in 081100
TOTAL DOORS & WINDOWS				\$22,075	
FINISHES					
091102	STEEL STUD FRAMING	1	11,500.00	\$11,500	
092500	DRYWALL	1	15,500.00	\$15,500	
095100	SUSPENDED ACOUST. CEILINGS	1	950.00	\$950	
096119	CONCRETE STAINING	1		\$0	Included 033543
096400	WOOD FLOORING	1	6,850.00	\$6,850	
096513	RESILIENT BASE	1	450.00	\$450	
099101	PAINTING INTERIOR	1	3,500.00	\$3,500	Excludes Wood Accent Walls
TOTAL FINISHES				\$38,750	
SPECIALTIES					
101601	TOILET PARTITIONS	2	350.00	\$700	
108000	TOILET & BATH ACCESSORIES	2	375.00	\$750	
108001	LABOR SPECIALTIES	1	1,000.00	\$1,000	
TOTAL SPECIALTIES				\$2,450	



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DATE: 7/14/2015
JOB NAME: High St Interior
EST. NUMBER: C15-111
SIZE: 6300
UNITS:

Allowance
11/17/2015, 3:17 PM
Page 2 of 2

CODE	ITEM	QUANTITY	UNIT COST	TOTAL	COMMENTS
EQUIPMENT					
114500	APPLIANCES	1	1,350.00	\$1,350	Refrigerator/Dishwasher Allowance
TOTAL EQUIPMENT				\$1,350	
MECHANICAL					
154000	PLUMBING	1	15,000.00	\$15,000	
157000	HVAC	1	28,500.00	\$28,500	Replace (2) 4-Ton HP Systems
TOTAL MECHANICAL				\$43,500	
ELECTRICAL					
161000	ELECTRICAL	1	43,800.00	\$43,800	Replace Branch Panels and Feeders
165100	INTERIOR LIGHTING	1	8,200.00	\$8,200	Allowance
TOTAL ELECTRICAL				\$52,000	
TOTAL ESTIMATED COSTS				\$293,473	
OVERHEAD			7.00%	\$20,543	
PROFIT			3.00%	\$9,420	
LIABILITY INSURANCE			1.50%	\$4,852	
TOTAL				\$328,288	



Proposal

Client: Derek Metson
 Date: 7/10/2015
 Job Name: High Street Exteriors
 Job Address: 615 High St Oregon City, Oregon 97045

Scope: Grow Construction will provide the labor and materials necessary to complete the scope below to code and in a workmanlike manner.

Exterior renovations

Description			Cost	Rolled up Cost
Demo				\$15,581.24
Railing Demo	110	LF	\$2,894.46	
Demo Storefront	1047	SF	\$4,305.52	
Door Removal	3	EA	\$641.77	
Concrete Wall Demo	60	SF	\$1,053.59	
Light post removal	7	EA	\$1,409.41	
Remove Soffit material	220	SF	\$992.12	
Strip paint	1	LS	\$1,281.57	
Clean area drain	1	EA	\$341.77	
Repair concrete slab	1	LS	\$1,789.56	
Relocate wheel stops	12	EA	\$871.47	
Electrical				\$13,878.95
Dead off electrical	1	LS	\$1,068.21	
Rope Lighting	220	LF	\$3,001.01	
Bega LED lights	2	EA	\$3,151.12	
Trugroove Linear Light	9	EA	\$5,488.81	
Lithonia D Series O	1	EA	\$1,169.80	
Landscaping				\$6,111.77
Cut to grade	1	LS	\$854.85	
Demo	1	LS	\$1,329.83	
Planting	1	LS	\$1,774.32	
New foundation Drain	1	LS	\$2,152.78	

GROW CONSTRUCTION LLC

7900 SW Hunziker Street Tigard, OR 97223 503-740-7340 Fax 503-278-5341 CCB # 191492



Painting				\$9,399.78
Paint Exterior of Building	1216	SF	\$3,256.53	
Paint Guardrail Posts	38	EA	\$1,342.14	
Paint structural Column	3	EA	\$736.98	
Paint Planter bed	120	SF	\$496.57	
Stain on Guardrail	900	SF	\$3,075.94	
paint existing sign	1	LS	\$491.62	
Woods				\$14,271.05
Install Soffit	220	SF	\$2,113.28	
Install cedar railing & Facade	871	SF	\$8,954.58	
Install 4x4 PT posts	1	EA	\$1,077.09	
Wood screen at HVAC area	80	SF	\$1,507.49	
Cedar Bench	1	EA	\$618.62	
Glazing				\$70,253.70
New storefront system and Doors	1047	SF	\$70,253.70	

Total Cost for above Exteriors scope: \$ 129,496.49

Interior Renovations

Description	Quantity	Units	Cost
Interior Renovations scope			
Demo	1	LS	\$10,660.10
Mold remediation	1	LS	\$7,993.34
Landscaping			
Plantings	1	LS	\$15,303.50
Pressure wash courtyard	1	LS	\$492.88
Parking Stripping	300	LF	\$719.94

GROW CONSTRUCTION LLC

7900 SW Hunziker Street Tigard, OR 97223 503-740-7340 Fax 503-278-5341 CCB # 191492



Powerwash Exterior Stairs	1	LS	\$629.20
Framing and sheetrock	500	LF	\$53,805.22
Insulation	6000	SF	\$9,271.18
Painting	12000	SF	\$14,349.10
Interior doors	15	EA	\$14,041.67
Interior windows	3	EA	\$3,671.13
Interior window walls	224	SF	\$20,231.31
Acoustical Ceiling	48	SF	\$701.20
1x4 T&G Soffit	120	SF	\$1,472.54
Rigid Insulation	6000	SF	\$13,497.10
Sand Blasting	1300	SF	\$5,556.46
Wood accent wall	1065	SF	\$9,094.39
Tension cable railing	30	LF	\$3,674.96
Concrete finish on floor	6030	SF	\$14,815.57
Electrical	1	LS	\$49,701.58
HVAC	1	LS	\$63,901.58
Plumbing	1	LS	\$39,761.58
Saw cuts	80	LF	\$683.02
Bathroom accessories			
Grab bars	4	EA	\$899.43
Toilet paper holders	3	EA	\$290.11
Soap dispensers	2	EA	\$240.26
Toilet Partitions	25	LF	\$2,964.25
Mirrors	2	EA	\$1,339.34
Excavation for Plumbing	6	CY	\$1,199.33
Concrete trench pour backs	40	LF	\$2,043.38
Counter top	35	LF	\$3,596.15
Cabinets	6	EA	\$2,890.55
Rubber Base	1000	LF	\$2,747.70
Total Interior Cost			\$372,239.03

Total Project cost: \$ 501,735.52

This is based on preliminary Construction drawings. Includes all MEP permits. Building permit not included.

Thank you for the chance to help with your project.

Pricing is guaranteed for 30 days. Subject to change based on material prices

Owner:

Dated:

GROW CONSTRUCTION LLC

7900 SW Hunziker Street Tigard, OR 97223 503-740-7340 Fax 503-278-5341 CCB # 191492



July 13, 2015

615 HIGH STREET

Oregon City, Oregon

6290

	INTERIOR	EXTERIOR
PROJECT ADMINISTRATION	\$ 25,371	\$ 8,914
DUMPSTER	\$ 1,200	\$ 1,800
FINAL CLEANING	\$ 2,202	\$ 1,200
TEMPORARY FENCING		\$ 880
REMEDIATION	\$ 25,130	\$ -
EROSION CONTROL PLAN		\$ 800
DEMOLITION	\$ 42,225	\$ 14,346
EARTHWORK	\$ 1,000	\$ -
STRIPING	\$ 1,200	
LANDSCAPING ALLOWANCE	\$ 3,500	
CONCRETE	\$ 3,040	\$ -
STRUCTURAL		\$ 5,425
HANDRAIL & CABLE SYSTEMS	\$ 11,900	\$ 11,565
CARPENTRY	\$ 15,920	\$ -
COUNTER TOP	\$ 3,740	\$ -
CABINETS	\$ 11,000	\$ -
FRP	\$ -	\$ -
CAULKING	\$ 1,585	\$ -
DOORS & FRAMES	\$ 21,572	
SPECIALTIES	\$ 1,650	
STOREFRONT		\$ 62,193
INSULATION	\$ 31,450	\$ -
DRYWALL & FRAMING	\$ 30,896	
PAINTING	\$ 1,280	\$ 1,280


CONCRETE SEALING	\$ 21,583	
TOILET ACCESSORIES	\$ 5,610	
FIRE EXTINGUISHERS	\$ -	\$ -
PLUMBING	\$ 26,479	\$ 2,500
HVAC	\$ 9,460	\$ -
ELECTRICAL	\$ 30,725	\$ 11,050

SUB TOTAL	\$ 333,218	\$ 125,453
GENERAL CONDITIONS	\$ 17,900	\$ 5,370
CONTRACTORS FEE	\$ 35,112	\$ 13,082
GENERAL LIABILITY	\$ 5,793	\$ 2,159

TOTAL	\$ 392,023.30	\$ 146,064.32
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Ben and Marki

8-Jul-2015


BenJames Investment Planning

Total Assets	\$	4,607,620.53		
Total Liabilities	\$	1,557,951.00	Net worth	\$ 3,049,669.53

Date

8-Jul-2015

Assets

Asset	Value	%
Liquid Assets		
Bank Accounts		
Rivermark Checking	\$ 24,106.67	0.5%
Rivermark Savings	\$ 5.00	0.0%
Advantis Checking/Savings	\$ 200.00	0.0%
Rivermark Corporate Account	\$ 41,525.09	0.9%
LPL Account	\$ 107,524.34	2.3%
Columbia Bank	\$ 90.00	0.0%
	\$ -	
Total Liquid Assets	\$ 173,451.10	3.8%

Long Term Assets

Investments		
Ben IRA LPL	\$ 185,172.41	4.0%
Marki ROTH IRA LPL	\$ 138,634.87	
Marki IRA LPL	\$ 92,058.14	
Ben ROTH LPL	\$ 131,985.82	2.9%
Ben SIMPLE IRA LPL	\$ 41,574.32	0.9%
Marki SIMPLE IRA LPL	\$ 24,634.87	0.5%
Cornac UTMA	\$ 6,838.00	0.1%
Collin UTMA	\$ 6,801.00	0.1%
Cameroon UTMA	\$ 6,764.00	0.1%
Ben Scudder ROTH	\$ 553.00	0.0%
Marki Scudder ROTH	\$ 553.00	0.0%
Marki Life Cash Value	\$ 32,100.00	0.7%
Ben Life Cash Value	\$ 53,280.00	1.2%
Noah Life Cash Value	\$ 3,150.00	0.1%
OGC Note	\$ 17,500.00	0.4%
Business Interest	\$ 977,000.00	21.2%
Ben LPL Stock Options	\$ 9,250.00	0.2%
Ben Deferred Comp Plan	\$ 125,320.00	2.7%
	\$ -	
Total Investments	\$ 1,853,169.43	35.2%

Real Estate

1530 10th St	\$ 475,000.00	10.3%
615 High Street	\$ 275,000.00	
1209 7th Street	\$ 725,000.00	15.7%
71756 Northshore Drive	\$ 285,000.00	6.2%
25619 Cheryl Drive	\$ 715,000.00	15.5%
Total Real Estate	\$ 2,475,000.00	47.7%

Family Assets

Jewelry/Art/Stamps	\$ 6,000.00	0.1%
Vehicles	\$ 60,000.00	1.3%
Furnishings/Antiques	\$ 25,000.00	0.5%
Other Family Assets (Not Listed)	\$ 15,000.00	0.3%
Total Family Assets	\$ 106,000.00	2.3%

Total Assets	\$	4,607,620.53	89.0%
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Liabilities

Liability	Value	%
Short term Liability		
Credit Cards	\$ -	
Columbia HELOC 35k	\$ 1.00	0.0%
Total Short Term Liabilities	\$ 1.00	0.0%

Long Term liabilities

1530	\$ 253,500.00	16.3%
1209	\$ 279,500.00	17.9%
71756	\$ 189,500.00	12.2%
Student Loan	\$ 54,250.00	3.5%
615	\$ 245,200.00	15.7%
25619	\$ 536,000.00	34.4%
	\$ -	
Total Long Term Liabilities	\$ 1,557,950.00	100.0%

Total Liabilities	\$	1,557,951.00	100.0%
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File No. 13014795

Clackamas County Official Records
Sherry Hall, County Clerk

2014-034959

07/18/2014 01:53:05 PM

D-D Cnt=1 Stn=8 CINDY
\$20.00 \$16.00 \$10.00 \$20.00 \$22.00

\$88.00

Grantor
US Bank National Association c/o Ocwen Loan Servicing, LLC 4828 Loop Central Drive Houston, TX, 77061
Grantee
Ben James Marki James 615 High Street Oregon City, OR 97045
After recording return to
Ben James Marki James 615 High Street Oregon City, OR 97045
Until requested, all tax statements shall be sent to
Ben James Marki James 615 High Street Oregon City, OR 97045 Tax Acct No(s): 00571786

Reserved for Recorder's Use

STATUTORY SPECIAL WARRANTY DEED

US Bank National Association, as Trustee of the Lehman Brothers Small Balance Commercial Mortgage Pass-Through Certificates 2007-3, Grantor, conveys and specially warrants to ~~Ben James/ and Marki James~~, Grantee, the following described real property free of encumbrances created or suffered by the Grantor except as specifically set forth herein:

* Benjamin B. James and Marki M. James

SEE ATTACHED EXHIBIT "A"

This property is free of encumbrances created or suffered by the Grantor, EXCEPT: NONE

The true consideration for this conveyance is **\$280,000.00**. (Here comply with requirements of ORS 93.030.)

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009 AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

WFG Title 13014795 Comm

OR Deed-Special Warranty

Executed this 30th day of June, 2014

**U.S. Bank National Association, as Trustee of the Lehman Brothers Small Balance
Commercial Mortgage Pass-Through Certificates 2007-3**

By Ocwen Loan Servicing, LLC
Its Attorney-in-Fact



Name: Stacie C. Ngo
Its Manager, Commercial Loan Servicing
Ocwen Loan Servicing LLC Attorney In Fact

State of Texas, County of Harris) ss.

This instrument was acknowledged before me on this 30th day of June, 2014 by,
Stacie C. Ngo As Manager, Commercial Servicing of Ocwen Loan
Servicing, LLC, Attorney-in-Fact for US Bank National Association, as Trustee of the Lehmen Brothers
Small Balance Commercial Mortgage Pass-Through Certificates 2007-3.



Notary Public for State of Texas
My commission expires: 10/21/17

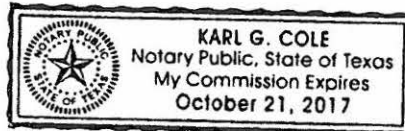


EXHIBIT "A"

Part of Lots 2 and 3, Block 34, Oregon City, in the City of Oregon City, County of Clackamas and State of Oregon, described as follows:

Beginning at a point on the Southeasterly line of said Block 34, which is North 35°30' East 88.56 feet from the most Southerly corner of said Block 34 being on the Northwesterly right-of-way line of High Street; thence North 54°27' West 108.99 feet to the Southeasterly line of a tract owned by Oregon City, a municipal corporation described in Book 189, page 276, Deed Records; thence Northeasterly along the Southeasterly line of said Oregon City Tract to the most Westerly corner of a tract described in Deed to Margaret R. Patterson recorded December 8, 1950 in Book 439, page 267, Deed Records; thence Southeasterly along the Southwesterly line of said Patterson Tract 63.21 feet to the Southeasterly line of Block 34, Oregon City; thence South 35°30' West along said Southeasterly line to the point of beginning.

EXHIBIT "B"

1. Easement for utilities over and across the premises formerly included within the boundaries of alleyway, now vacated, if any such exist.
By Ordinance No. : 716
2. Easement, including the terms and provisions thereof:
For : Sewer line and right of ingress and egress to maintain
Granted to : O. R. Hartnell
Recorded : June 23, 1947
Book : 392
Page : 225
Affects : Within Lot 3, Block 34, exact location not stated
3. Easement for Use and Maintenance obligations of existing Light standard, as disclosed in Deeds:
Recorded : October 7, 1981
Recording No. : 81 34830
Also Recorded : January 22, 1982
Recording No. : 82 2144
Affects : Two location appurtenant for Parking area
4. Public Utility Easement, including the terms and provisions thereof:
For : Sanitary Sewer
Granted to : City of Oregon City
Recorded : April 21, 1993
Recording No. : 93 26152
Affects : See document for actual location

7/1/2014 to 6/30/2015 REAL PROPERTY TAX STATEMENT
 CLACKAMAS COUNTY, OREGON * 150 BEAVERCREEK RD. * OREGON CITY, OREGON 97045

PROPERTY DESCRIPTION

615 HIGH ST
 OREGON CITY OR 97045
 JAMES BENJAMIN B
 615 HIGH ST
 OREGON CITY OR 97045

MAP: 22E31AB00200

Code Area: 062-057

ACCOUNT NO: 00571786

CL TAX SERVICE- COMM LOAN SERV *study?*

2014 - 2015 CURRENT TAX BY DISTRICT:

COM COLL CLACK 208.96
 ESD CLACKAMAS 138.20
 SCH OREGON CITY 1,866.40

EDUCATION TOTAL: 2,213.56

CITY OREGON CITY 1,658.04
 COUNTY CLACKAMAS 903.93
 COUNTY EXTENSION & 4-H 18.80
 COUNTY LIBRARY 148.94
 COUNTY PUBLIC SFTY LOC OPT 97.93
 COUNTY SOIL CONS 18.80
 FD 1 CLACK CO 895.29
 PORT OF PTLD 26.30
 SRV 2 METRO 36.17
 SRV 2 METRO LOC OPT 37.91
 URBAN RENEWAL COUNTY 10.79
 URBAN RENEWAL OREGON CITY 331.33
 VECTOR CONTROL 2.45
 VECTOR CONTROL LOC OPT 9.87

GENERAL GOVERNMENT TOTAL: 4,196.55

CITY OREGON CITY BOND 42.05
 COM COLL CLACK BOND 56.07
 FD 1 CLACK CO BOND 21.01
 SCH OREGON CITY BOND 546.30
 SRV 2 METRO BOND 103.18

EXCLUDED FROM LIMIT TOTAL: 768.61

2014-2015 TAX BEFORE DISCOUNT 7,178.72

VALUES:	LAST YEAR	THIS YEAR
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REAL MARKET VALUES (RMV):

RMV LAND	98,979	106,951
RMV BLDG	342,170	370,220
RMV TOTAL	441,149	477,171

ASSESSED VALUE (AV):	383,368	394,869
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PROPERTY TAXES:	6,968.78	7,178.72
-----------------	----------	----------

THIS IS NOT A TAX BILL IF... your mortgage company is responsible

for paying your taxes. Keep this statement for your records.

.....
 Please Make Payment To: CLACKAMAS COUNTY TAX COLLECTOR
 (Refer to back of statement and insert enclosed for more information)

Questions about your property value or taxes?

Please call 503-655-8671

Payment

TAX PAYMENT OPTIONS

Options	Date Due	Discount Allowed	Net Amount Due
FULL	Nov 17, 2014	215.36 3%	6,963.36
2/3	Nov 17, 2014	95.72 2%	4,690.09
1/3	Nov 17, 2014		2,392.90

DELINQUENT TAXES:

0.00

TOTAL (after discount): 6,963.36

Delinquent tax amount is included in payment options listed below.

↑ TEAR
HERE

PLEASE RETURN THIS PORTION WITH YOUR PAYMENT See back of Statement for Instructions

TEAR ↑
HERE

2014-2015 Property Tax Payment Clackamas County, Oregon

ACCOUNT NO: 00571786

Discount is lost and interest applies after due date.

FULL PAYMENT	(Includes 3% Discount)	DUE Nov 17, 2014	6,963.36
2/3 PAYMENT	(Includes 2% Discount)	DUE Nov 17, 2014	4,690.09
1/3 PAYMENT	(No Discount offered)	DUE Nov 17, 2014	2,392.90

☐ Mailing address change or
name change on back

Enter Amount Paid

JAMES BENJAMIN B
 615 HIGH ST
 OREGON CITY OR 97045

Please make payment to:

CLACKAMAS COUNTY TAX COLLECTOR
 PO BOX 6100
 PORTLAND, OR 97228-6100

03000005717860000696336000046900900002392905



625 CENTER ST
PO BOX 3040
OREGON CITY, OR 97045-0304
(503) 657-8151

Customer: 218234
Service Address: 615 HIGH ST
Service Period: 2/1/2015 - 2/28/2015
Due Date: 4/20/2015
Amount Due: \$103.48

Previous Read	Current Read	Consumption	Meter #
1,406	1,406	0	46431675

ACCOUNT ACTIVITY

	UNITS	CURRENT	AMOUNT
Previous Balance			\$103.48
Payment - Thank you			(\$103.48)
Adjustments - Credits			\$0.00
Beginning Balance			\$0.00

CURRENT SERVICES AND NEW ACTIVITY

	UNITS	CURRENT
Water Distribution	1.00	14.70
Stormwater Management	3.60	32.58
Pavement Maintenance	275.48	56.20

Total Current Services and New Activity: \$103.48
Amount Due: \$103.48

SEE REVERSE FOR EXPLANATION OF SERVICES AND ADDITIONAL INFORMATION

Please detach and return bottom portion with your remittance.

www.orcity.org/billpay



PO BOX 3040
OREGON CITY, OR 97045-0304

Customer Number:	218234
Due Date:	4/20/2015
Amount Due:	\$103.48

1402 1 AV 0.381 3/375 01441 0001:0001



BEN JAMES
1209 7TH ST
OREGON CITY OR 97045-2001



OREGON CITY
UTILITY BILLING
PO BOX 3530
PORTLAND OR 97208-3530

21823430010348

2015
Expires 12/31/2015

CITY OF OREGON CITY

Incorporated 1844

Business Name: BEN JAMES INVESTMENT PLANNING
Primary 1209 7TH ST
Address: OREGON CITY, OR 97045



BEN JAMES INVESTMENT PLANNING
1209 7TH ST
OREGON CITY, OR 97045

BUSINESS LICENSE

License # : 5872

Date Issued: : 1/1/2015

of Employees: 3

Must be placed in public view



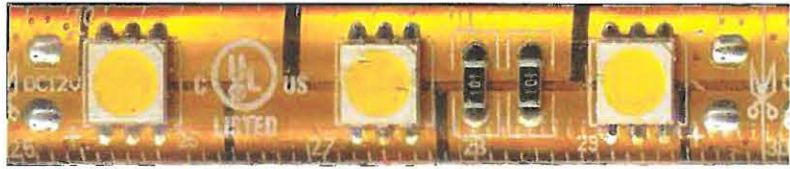
MILWORK - WHITE BIRCH, WOOD ACCENT WALLS, DOORS AND TRIM
FINISH - CLEAR FINISH



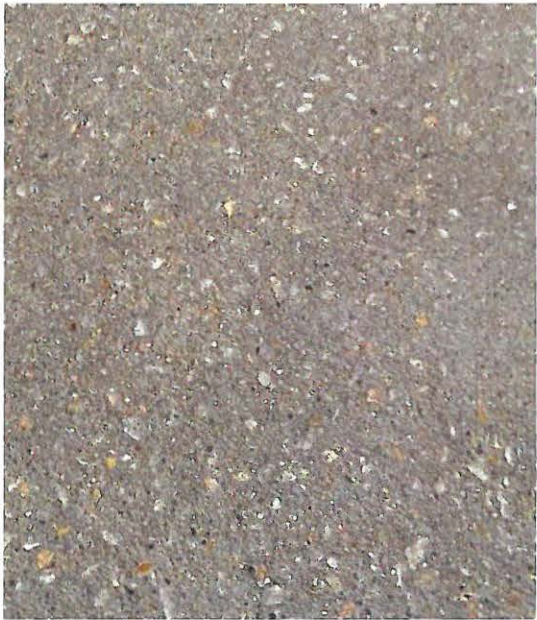
FLOOR - STAINED CONCRETE
FINISH - WHITE
ALTERNATES: BLACK IN SOME LOCATIONS



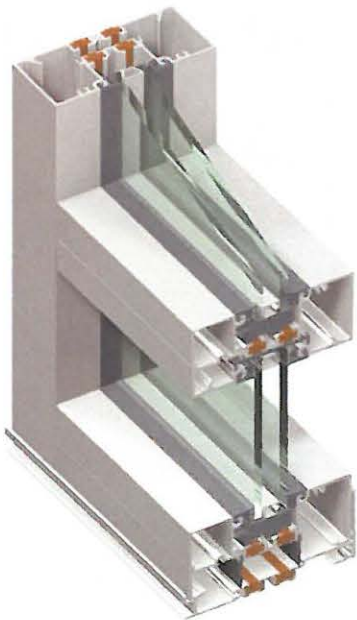
RECESSED LIGHTING AT SOFFIT



LED ROPE LIGHT AT GUARDRAIL



SAND BLASTED CONCRETE
AT ALL EXPOSED SURFACES



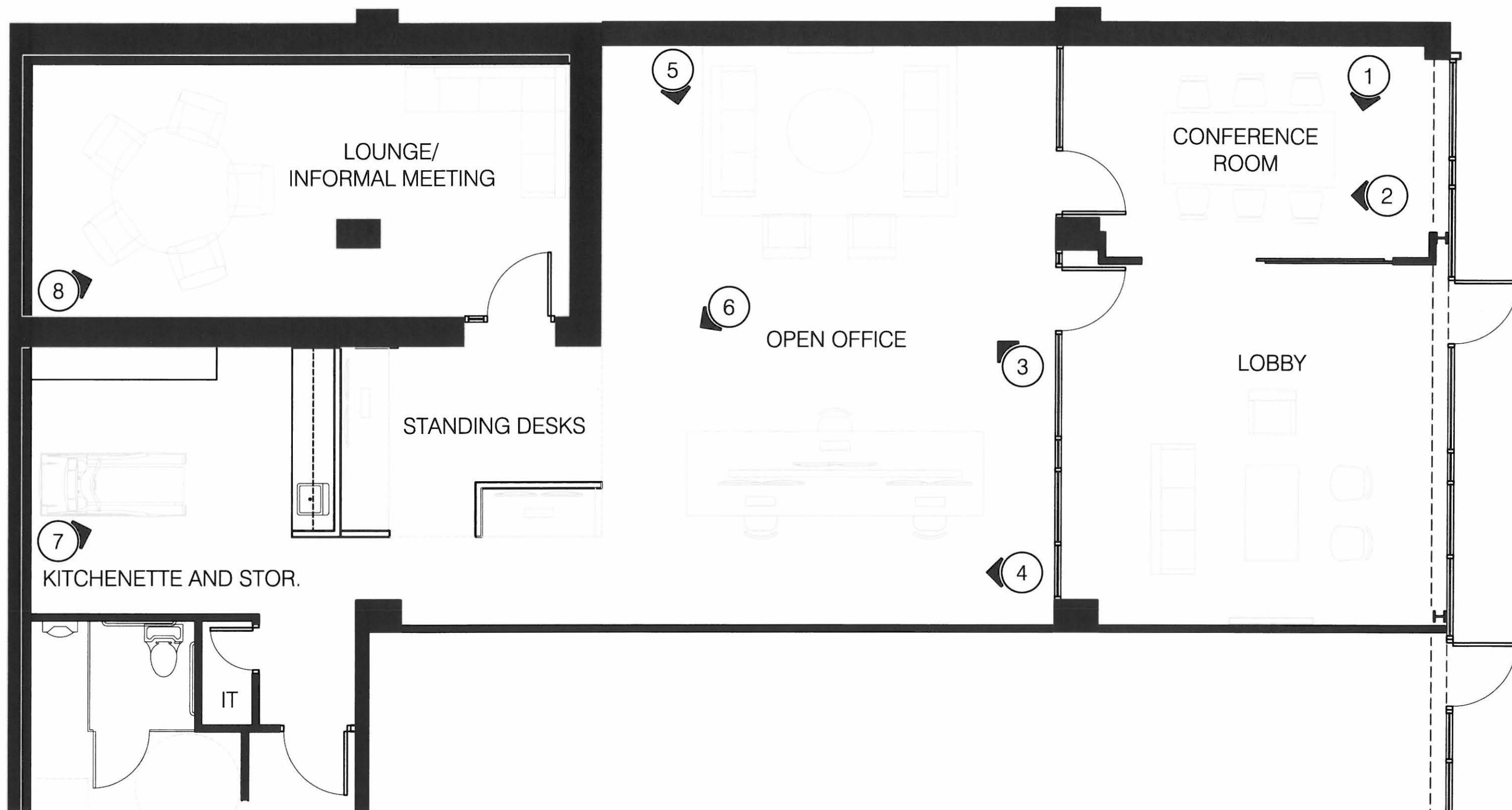
STOREFRONT WINDOW
KAWNEER ANODIZED
ALUMINUM



VERTICAL GUARDRAIL TREATMENT
STAINLESS STEEL CABLE

MATERIALS BOARD

PROJECT NUMBER: 2940-15



KEY PLAN - INTERIOR IMAGES OF SUITE 1

PROJECT NUMBER: 2940-15



1



2

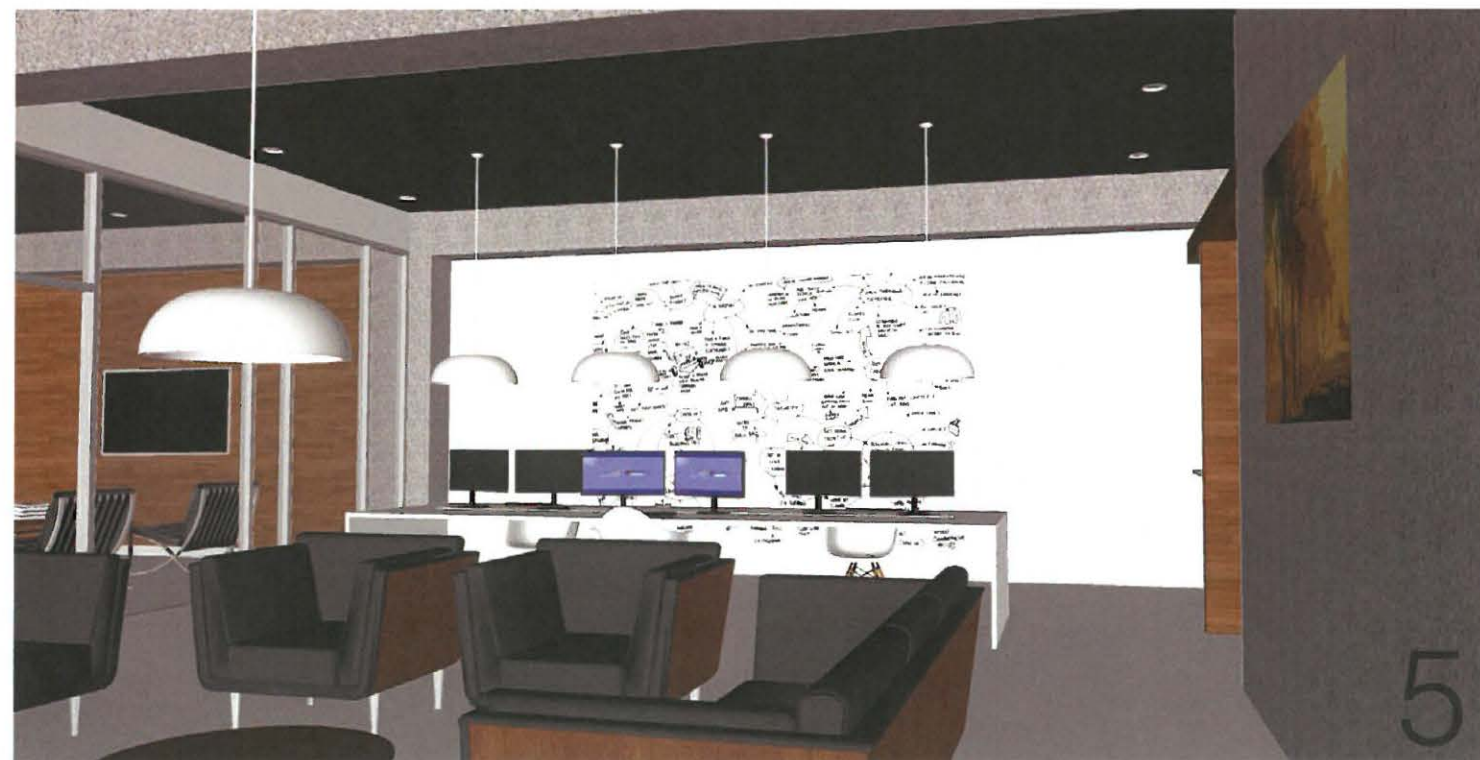
SUITE 1 - BEFORE AND AFTER IMAGES

PROJECT NUMBER: 2940-15



SUITE 1 - BEFORE AND AFTER IMAGES

PROJECT NUMBER: 2940-15



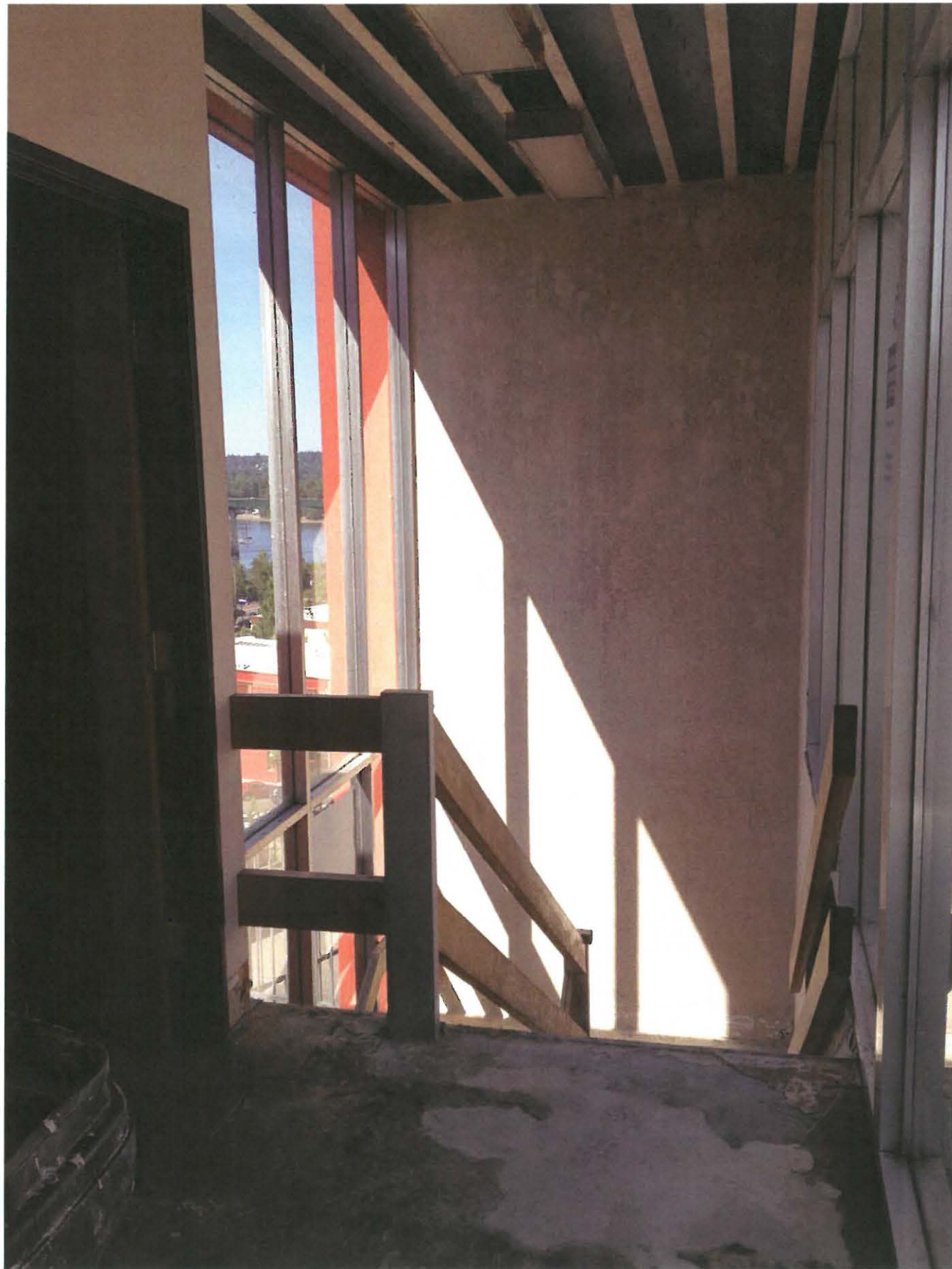
SUITE 1 - BEFORE AND AFTER IMAGES

PROJECT NUMBER: 2940-15

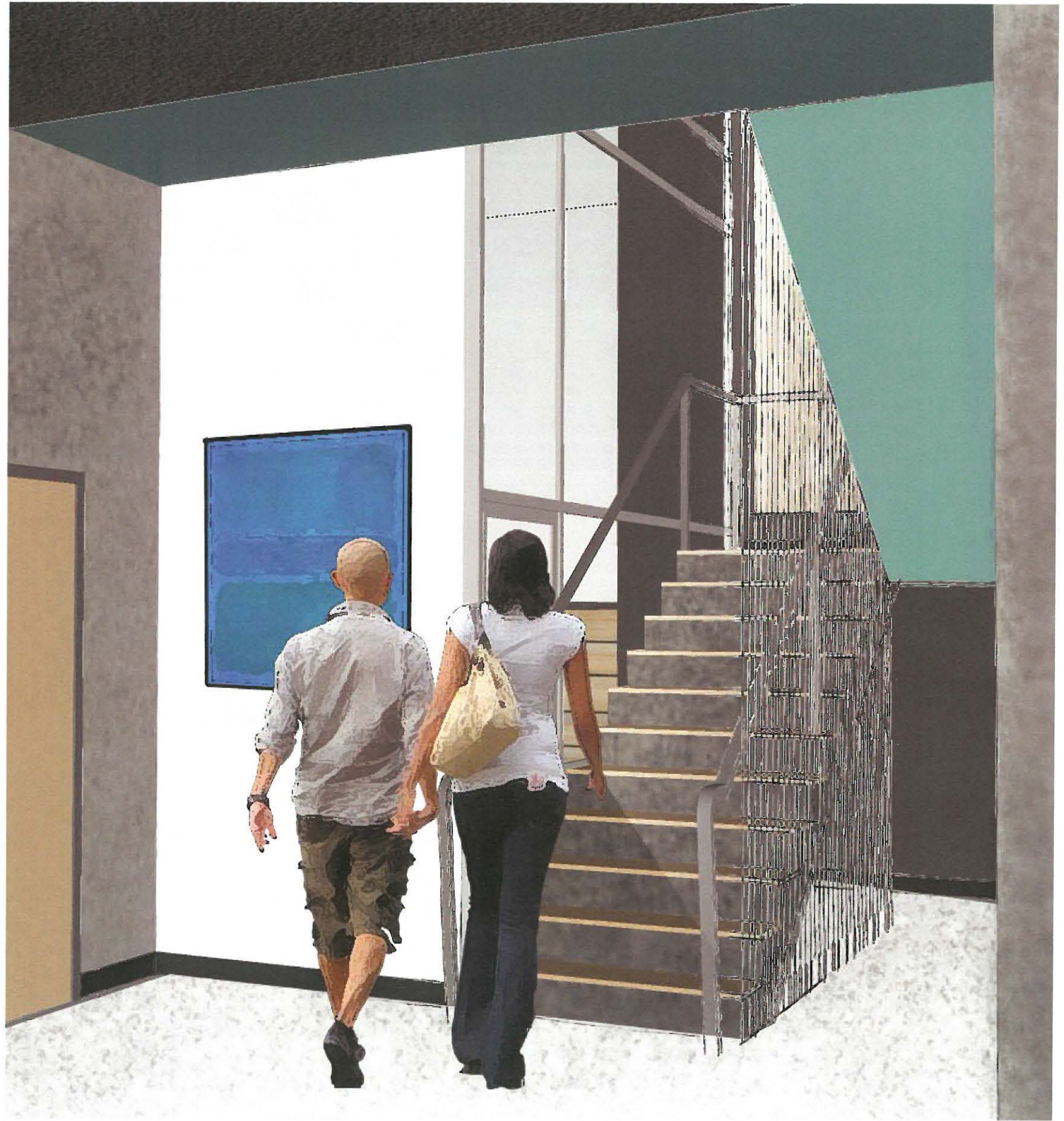


SUITE 1 - BEFORE AND AFTER IMAGES

PROJECT NUMBER: 2940-15



UPPER LOBBY
PROJECT NUMBER: 2940-15



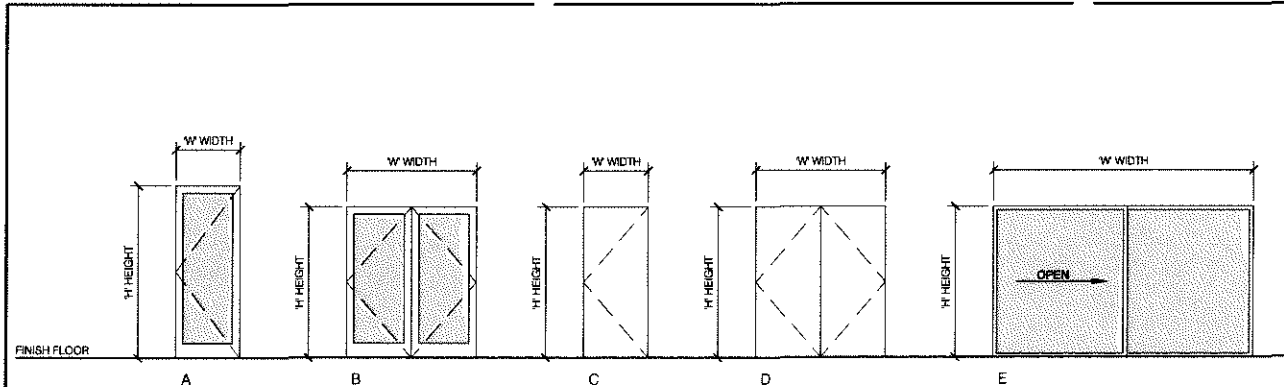
LOWER LOBBY

PROJECT NUMBER: 2940-15

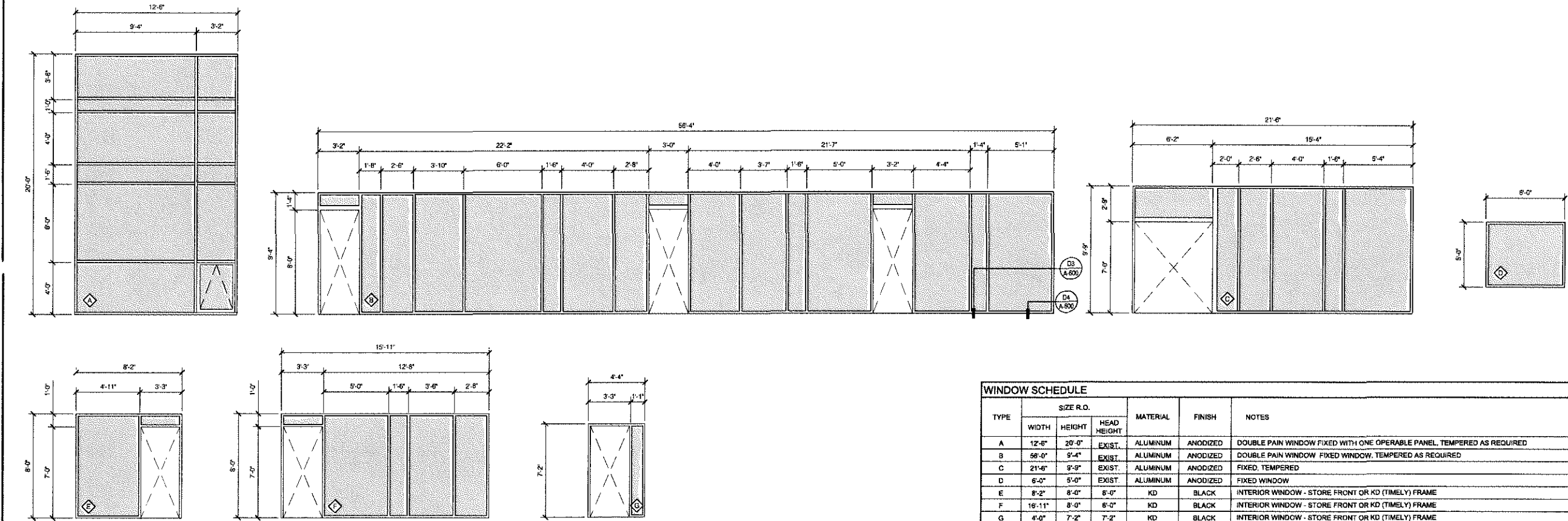
Greenbox^{Architecture}
1300 John Adams St. Ste 106 Oregon City, Oregon 97045



LOWER LOBBY
PROJECT NUMBER: 2940-15



DOOR ELEVATIONS



WINDOW AND DOOR FRAME ELEVATIONS

DOOR SCHEDULE												
DOOR NUMBER	DOORS			DOORS			FRAMES			HARDWARE GROUP	RATING	NOTES
	WIDTH	HEIGHT	THK	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	TRIM / FINISH			
100A	3'-0"	8'-0"	1 3/4"	A	STORE FRONT	ANODIZED	WIN TYP 'B'	STORE FRONT	ANODIZED	-	-	LOCKING EXTERIOR DOOR WITH PANIC HARDWARE AND FULL LIGHT
100B	3'-0"	7'-0"	1 3/4"	A	SC	STAIN	WIN TYP 'P'	KD	BLACK	-	-	INTERIOR DOOR WITH LEVER/ LATCH HARDWARE
101A	12'-0"	8'-0"	1 3/4"	E	ALUMINUM	ANODIZED	-	STORE FRONT	ANODIZED	-	-	INTERIOR SLIDING GLASS DOOR
101B	3'-0"	7'-0"	1 3/4"	A	SC	STAIN	WIN TYP 'E'	KD	BLACK	-	-	INTERIOR DOOR WITH LEVER/ LATCH HARDWARE
103A	3'-0"	7'-0"	1 3/4"	C	SC	STAIN	WIN TYP 'G'	KD	BLACK	-	-	INTERIOR DOOR WITH LEVER/ LATCH HARDWARE
105A	3'-0"	7'-0"	1 3/4"	C	SC	STAIN	-	KD	BLACK	-	-	INTERIOR DOOR WITH LEVER/ LATCH HARDWARE AND AUTO CLOSER
106A	3'-0"	7'-0"	1 3/4"	C	SC	STAIN	-	KD	BLACK	-	-	INTERIOR DOOR WITH LEVER/ LATCH HARDWARE AND AUTO CLOSER
107A	3'-0"	7'-0"	1 3/4"	C	SC	STAIN	-	KD	BLACK	-	-	LOCKING INTERIOR DOOR WITH LEVER/ LATCH HARDWARE AND AUTO CLOSER
108A	3'-0"	7'-0"	1 3/4"	C	SC	STAIN	-	KD	BLACK	-	-	INTERIOR DOOR WITH LEVER/ LATCH HARDWARE AND AUTO CLOSER
108B	3'-0"	7'-0"	1 3/4"	C	SC	STAIN	-	KD	BLACK	-	-	INTERIOR DOOR WITH LEVER/ LATCH HARDWARE AND AUTO CLOSER
109A	4'-0"	7'-0"	1 3/4"	D	SC	STAIN	-	KD	BLACK	-	-	LOCKING INTERIOR DOOR WITH LEVER/ LATCH HARDWARE
110A	2'-0"	7'-0"	1 3/4"	C	SC	STAIN	-	KD	BLACK	-	-	LOCKING INTERIOR DOOR WITH LEVER/ LATCH HARDWARE
111A	3'-0"	EXIST	1 3/4"	C	SC	STAIN	-	KD	BLACK	-	-	LOCKING INTERIOR DOOR WITH LEVER/ LATCH HARDWARE
112A	3'-0"	8'-0"	1 3/4"	A	STORE FRONT	ANODIZED	WIN TYP 'B'	STORE FRONT	ANODIZED	-	-	LOCKING EXTERIOR DOOR WITH PANIC HARDWARE AND FULL LIGHT
112B	3'-0"	8'-0"	1 3/4"	A	STORE FRONT	ANODIZED	WIN TYP 'B'	STORE FRONT	ANODIZED	-	-	LOCKING EXTERIOR DOOR WITH PANIC HARDWARE AND FULL LIGHT
113A	6'-0"	7'-0"	1 3/4"	D	SC	STAIN	-	KD	BLACK	-	-	LOCKING INTERIOR DOOR WITH LEVER/ LATCH HARDWARE
200A	6'-0"	7'-0"	1 3/4"	B	STORE FRONT	STAIN	-	KD	BLACK	-	-	LOCKING INTERIOR DOOR WITH LEVER/ LATCH HARDWARE
201A	3'-0"	7'-0"	1 3/4"	A	SC	STAIN	-	KD	BLACK	-	-	LOCKING EXTERIOR DOOR WITH PANIC HARDWARE AND FULL LIGHT

WINDOW SCHEDULE						
TYPE	SIZE R.O.			MATERIAL	FINISH	NOTES
	WIDTH	HEIGHT	HEAD HEIGHT			
A	12'-6"	20'-0"	EXIST.	ALUMINUM	ANODIZED	DOUBLE PAIN WINDOW FIXED WITH ONE OPERABLE PANEL, TEMPERED AS REQUIRED
B	56'-0"	9'-4"	EXIST.	ALUMINUM	ANODIZED	DOUBLE PAIN WINDOW FIXED WINDOW, TEMPERED AS REQUIRED
C	21'-6"	9'-9"	EXIST.	ALUMINUM	ANODIZED	FIXED, TEMPERED
D	6'-0"	5'-0"	EXIST.	ALUMINUM	ANODIZED	FIXED WINDOW
E	8'-2"	8'-0"	6'-0"	KD	BLACK	INTERIOR WINDOW - STORE FRONT OR KD (TIMELY) FRAME
F	16'-11"	8'-0"	6'-0"	KD	BLACK	INTERIOR WINDOW - STORE FRONT OR KD (TIMELY) FRAME
G	4'-0"	7'-2"	7'-2"	KD	BLACK	INTERIOR WINDOW - STORE FRONT OR KD (TIMELY) FRAME

NOTE: SEE PAGE A-600 FOR TYPICAL WINDOW DETAILS. PROVIDE KAWNEER (OR APPROVED EQUAL) STOREFRONT WINDOWS AND DOORS.

NOT FOR
CONSTRUCTION

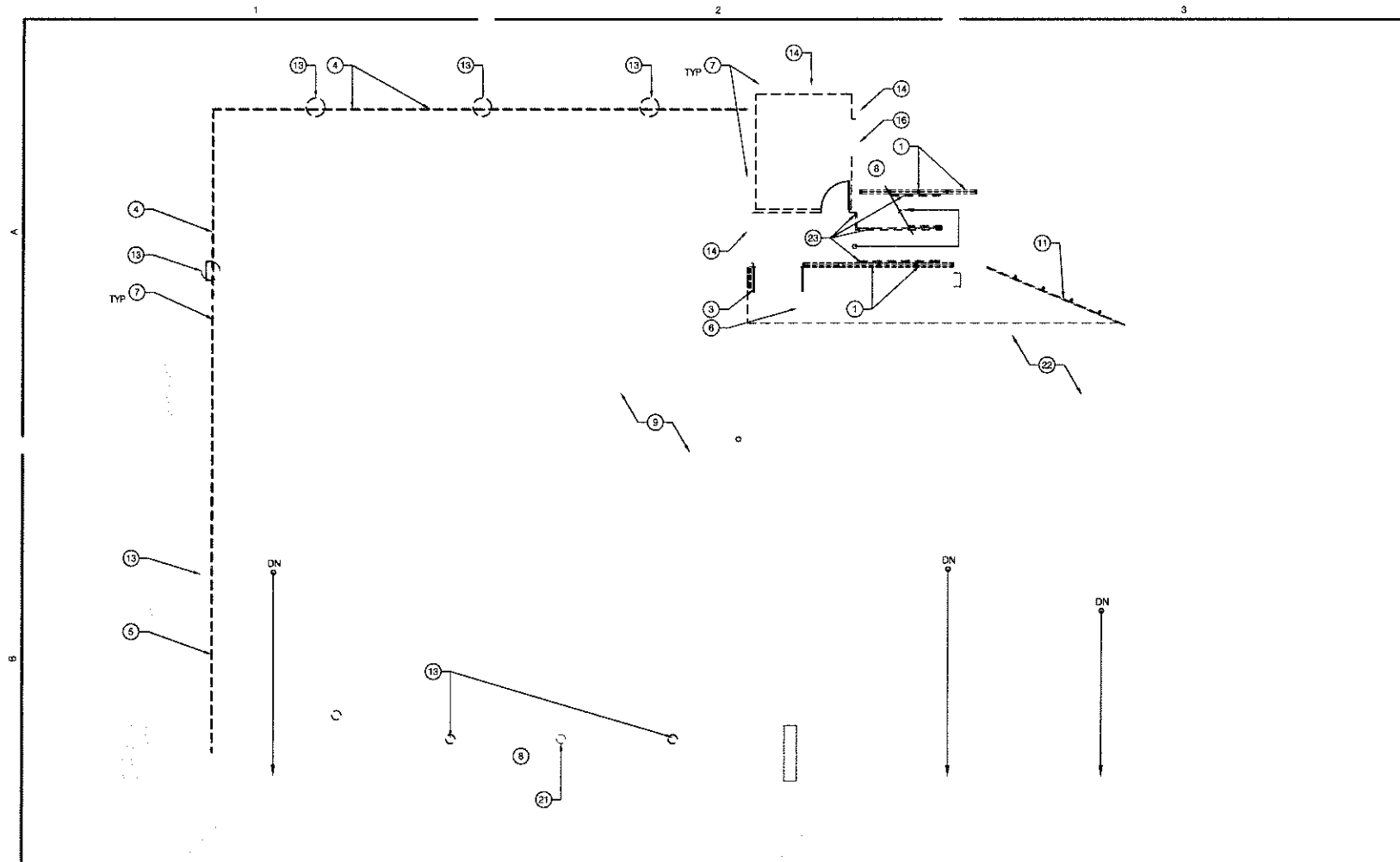
HIGH STREET BUILDING
ALTERATIONS

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2253 AB0200

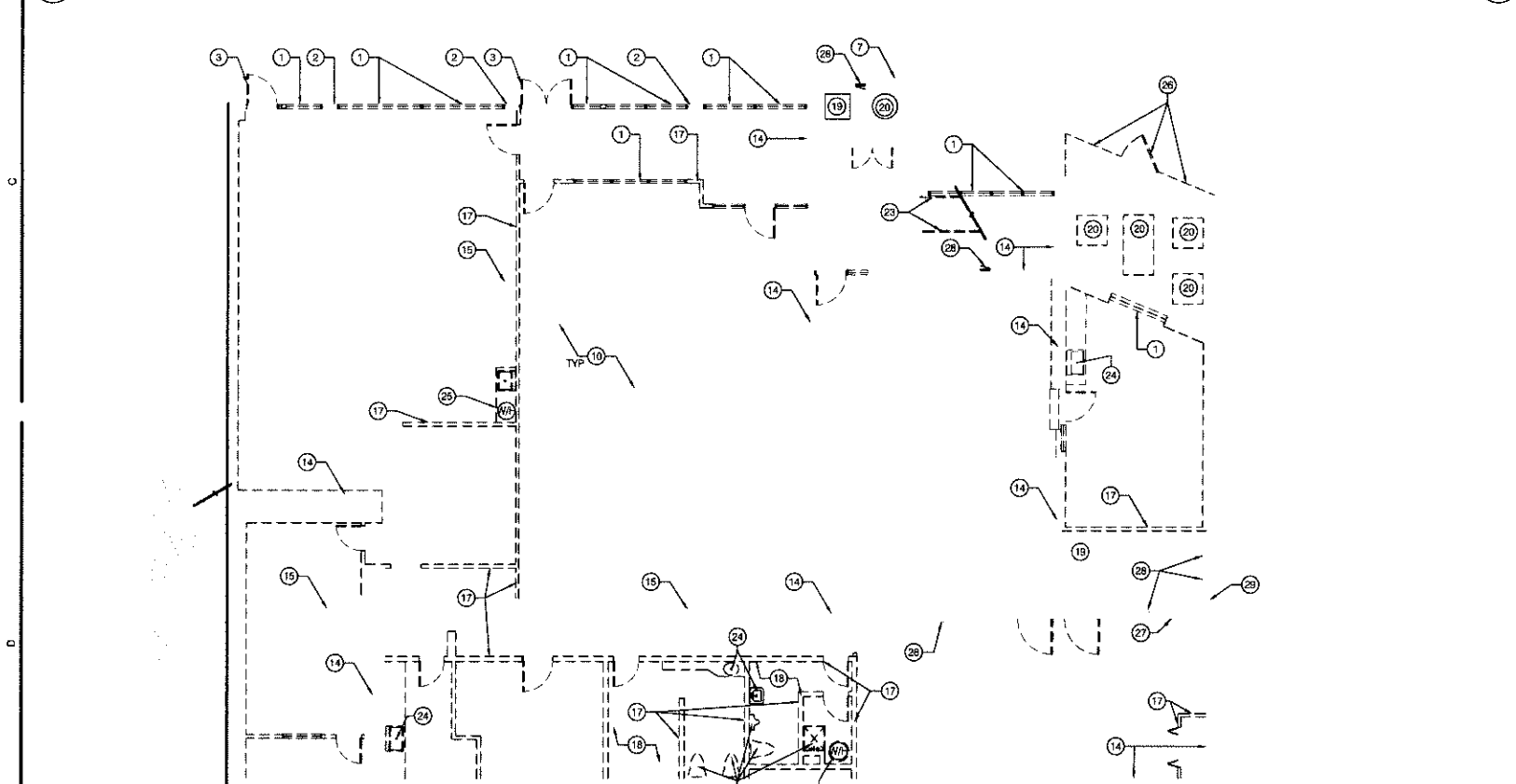
DOOR AND WINDOW SCHEDULES

PROJECT NO.: 2940-15
DRAWN BY:
DATE: JUNE 29, 2015

G-300



C1
D-100
GROUND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



D1
D-100
BASEMENT DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

MOLD AND MILDEW NOTES

1. THE FOLLOWING REQUIREMENTS SHALL APPLY TO ALL NEW AND REMODEL CONSTRUCTION PROJECTS.
2. IN THE EVENT THE CONTRACTOR DISCOVERS, AT ANY TIME DURING DEMOLITION, CONSTRUCTION, AND/OR REMODELING OPERATIONS, EXISTING CONDITIONS THAT COULD INCLUDE THE PRESENCE OF MOLD AND/OR MILDEW, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THE ARCHITECT/ENGINEER OF RECORD, IN WRITING, OF THE CONCERNS AND/OR SUSPICIONS.
3. CONCURRENTLY, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO RETAIN A QUALIFIED AND LICENSED TO CONTRACTOR TO PERFORM ALL NECESSARY REMEDIATION WORK, COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS, CODES, AND STATUTES.
4. ONCE DISCOVERY OR SUSPICIONS OF MOLD AND/OR MILDEW IS MADE, THE CONTRACTOR SHALL TAKE ALL REASONABLE AND PRACTICAL PRECAUTIONS TO PROTECT ALL CONSTRUCTION PERSONNEL AND THE PUBLIC FROM EXPOSURE TO MOLD AND/OR MILDEW, AND SUCH PRECAUTIONS SHALL REMAIN IN PLACE UNTIL SUCH TIME AS THE OWNER OR HEALTH AUTHORITY DIRECTS OTHERWISE. CONSTRUCTION OPERATIONS SHALL NOT BE STOPPED OR CURTAILED, EXCEPT IN THE AREA OF MOLD/MILDEW CONCERN DUE TO THESE REQUIRED PRECAUTIONS.
5. THE CONTRACTOR SHALL MAKE ALL REASONABLE EFFORTS TO AVOID CONDITIONS FAVORABLE TO THE DEVELOPMENT OF MOLD AND MILDEW, ESPECIALLY IN VOIDS WHICH WILL BE CONCEALED AND NOT VENTILATED. IN ALL CASES, INTERIOR SPACES AND INTERIOR FINISHED CONSTRUCTION SHALL BE MAINTAINED IN DRY AND WELL-VENTILATED CONDITIONS.
6. THE CONTRACTOR SHALL COMPLY WITH FEDERAL ENVIRONMENTAL AND OSHA REGULATIONS AND ALL LOCAL AND STATE HEALTH DEPARTMENT REQUIREMENTS AND RECOMMENDATIONS REGARDING MOLD AND MILDEW.
7. ALL PENETRATIONS SHALL BE SEALED WATER-TIGHT TO PREVENT MOISTURE MIGRATION FROM ENTERING THE BUILDING OR WALL CAVITIES.
8. ALL CONDENSATE DRAIN PANS SHALL BE CLEANED AND KEPT FREE FROM DEBRIS UNTIL, AND WHEN, THE FACILITY IS TURNED OVER TO THE OWNER OR TENANT. INSURE POSITIVE DRAINAGE AT ALL DRAIN PANS. INSURE THAT ALL "COLD" SURFACES ARE INSULATED AND COVERED WITH A FULLY SEALED AND CONTINUOUS VAPOR BARRIER. "COLD" SURFACES INCLUDE, BUT ARE NOT LIMITED TO, DOMESTIC COLD WATER PIPING, CHILLED WATER PIPING, INTERIOR RAIN LEADERS, OUTDOOR AIR INTAKES, AND DUCTWORK CARRYING AIR CONDITIONED SUPPLY AIR.
9. INSURE THAT THERE ARE NO WATER LEAKS IN ROOF DECK, ROOF WALKING SURFACE, CONCEALED PLUMBING CHASES, RETURN AIR PATHS AND PLENUMS SHALL BE KEPT DRY. ALL EXISTING SUPPLY AIR PATHS AND ALL EXISTING DUCTWORK TO BE RE-USED SHALL BE CLEANED AND TREATED AS REQUIRED TO REMOVE THE POTENTIAL FOR MOLD AND MILDEW. ALL DAMP AREAS SHALL BE DRIED THOROUGHLY PRIOR TO ENCLOSURE. REMOVE ALL.
10. ORGANIC MATERIAL FROM THE SPACED TRAIT ALL SURFACES WITH AN APPROVED FUNGICIDE.

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- AREA OF EXISTING CONSTRUCTION TO BE REMOVED
- ADJACENT BUILDING, NOT IN CONTRACT

DEMOLITION NOTES

- A. COORDINATE EXTENT OF ALL DEMOLITION WORK WITH NEW WORK. CONSULT WITH ARCHITECT UPON DISCOVERY OF SIGNIFICANT DISCREPANCIES.
- B. PATCH AND REPAIR EXISTING SURFACES THAT REMAIN. MATCHING SUBSTRATE AND FINISHES OF ADJACENT EXISTING SURFACES.
- C. PROVIDE SHORING AND BRACING AS REQUIRED.
- D. PROTECT ALL ITEMS FROM DAMAGE DURING DEMOLITION.
- E. OWNER SHALL HAVE RIGHT OF FIRST REFUSAL FOR EQUIPMENT AND MATERIALS REMOVED DURING DEMOLITION AND WILL PROMPTLY REMOVE SELECTED ITEMS. SALVAGEABLE / RECYCLABLE EQUIPMENT AND MATERIALS SHALL BE STOCKPILED AT AN OWNER PROVIDED ON-SITE LOCATION FOR FUTURE USE / RECYCLING. ALL OTHER DEMOLISHED MATERIALS ARE TO BE REMOVED DAILY. FEES ASSOCIATED WITH DISPOSAL SHALL BE INCLUDED IN THE CONTRACTOR'S BASE BID.
- F. ALL ITEMS NOT REUSED FOR NEW CONSTRUCTION TO BE RECYCLED TO THE MAXIMUM EXTENT ALLOWED PER LOCAL CODE. VERIFY WHICH ITEMS TO BE REUSED W/ BUILDING OWNER AND ARCHITECT PRIOR TO REMOVAL.
- G. PLUMBING FIXTURES REMOVED

TOILET	3
URINAL	1
LAV	2
MOP SINK	1
W/H	2
SINK	3

DEMOLITION KEY LEGEND

1. REMOVE STOREFRONT WINDOW SYSTEM
2. REMOVE EXTERIOR WALL AROUND STRUCTURAL COLUMN. DO NOT REMOVE STRUCTURAL COLUMN
3. REMOVE EXISTING DOOR
4. REMOVE WOOD GUARDRAIL AND POST
5. REMOVE ALUMINUM GUARD RAIL AND POST
6. REMOVE SOFFIT MATERIAL. CANOPY TO REMAIN
7. REMOVE EXISTING PAINT OVER CONCRETE WHERE PAINT IS CRACKED OR PEELING
8. REMOVE EXISTING LANDSCAPING
9. REMOVE ASPHALT PARKING LOT COATING
10. REMOVE ALL TIES AND METAL FRAMING ATT. TO CEILING
11. REMOVE EXISTING GUARDRAIL POST TO REMAIN
12. REMOVE CONCRETE WALL FOR NEW WINDOW
13. REMOVE POST AND LIGHT
14. EXISTING CONCRETE WALL TO REMAIN, REMOVE FINISH FACE
15. EXISTING CONCRETE COLUMN TO REMAIN, TYP. REMOVE FINISH FACE
16. EXISTING WINDOW TO REMAIN
17. REMOVE EXISTING WALL
18. REMOVE CONCRETE SLAB IN THIS AREA AS REQUIRED FOR NEW PLUMBING. COORDINATE WITH NEW WORK
19. REMOVE EXISTING FURNACE
20. REMOVE EXISTING HVAC UNIT
21. REMOVE LIGHT, EXISTING POLE TO REMAIN
22. REMOVE PEDESTRIAN WALKING SURFACE
23. REMOVE HAND/ GUARDRAIL
24. REMOVE PLUMBING FIXTURES
25. REMOVE WATER HEATER
26. CUT FENCE DOWN TO 48" ABOVE SLAB ON GRADE
27. REMOVE PHONE AND DATA
28. SERVICE / REPLACE EXISTING PANELS
29. MOP TO REMAIN

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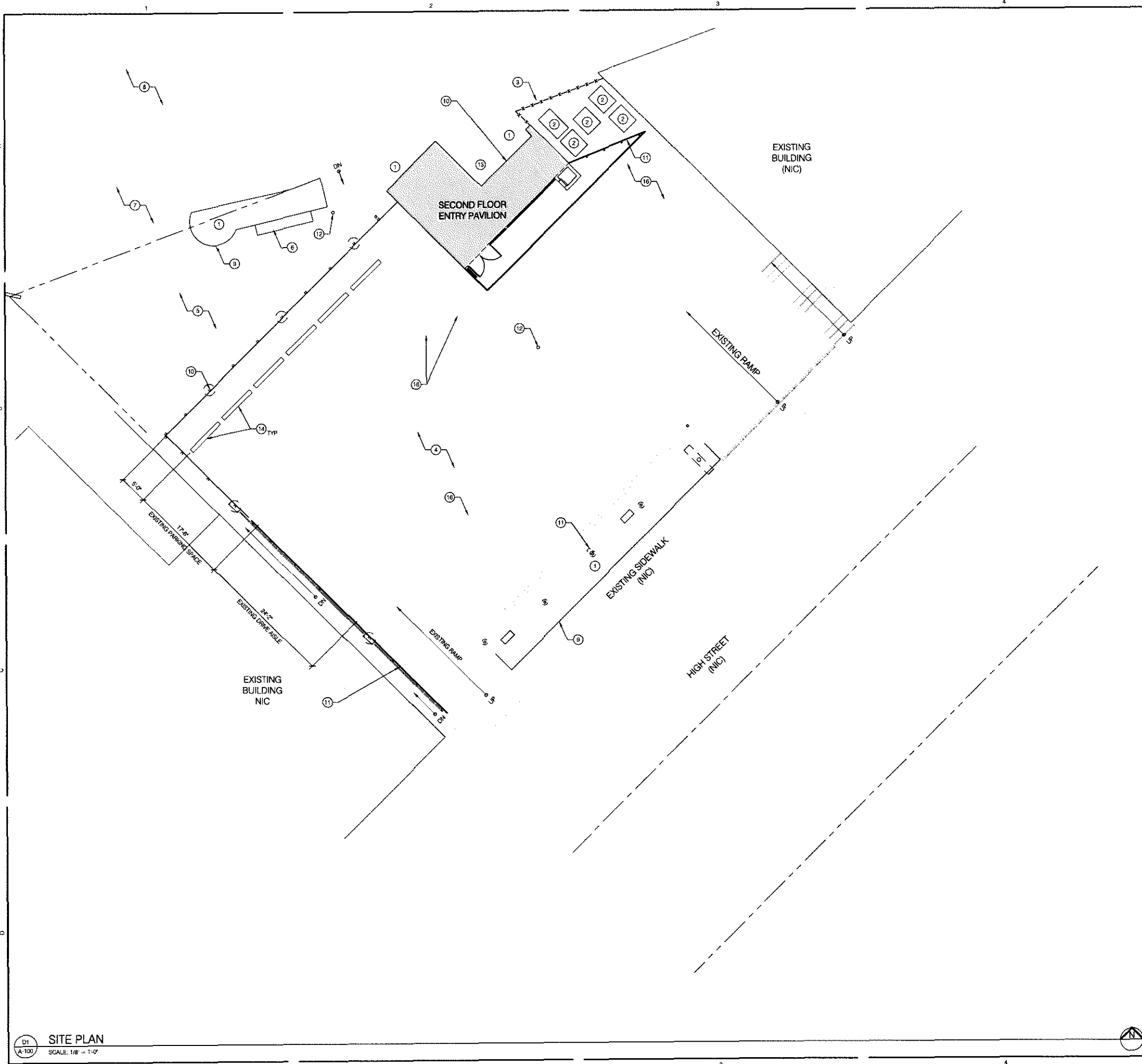
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DEMOLITION PLAN

BID DOCUMENTS

PROJECT NO.: 2940-15
DRAWN BY:
DATE: JUNE 29, 2015

D-100



SITE PLAN GENERAL NOTES

- 1. REGRADE SOIL AS REQUIRED AT BUILDING PERIMETER TO MAINTAIN 6" CLEARANCE TO SIDING AND POSITIVE SLOPE AWAY FROM BUILDING.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SITE INSPECTIONS.
- 3. VERIFY ALL UNDERGROUND CONDUIT SIZE AND LOCATION WITH DESIGN BUILD CONTRACTOR.

EXISTING CONSTRUCTION TO REMAIN

EXISTING BUILDING

ADJACENT BUILDING, NOT IN CONTRACT

SITE PLAN KEYNOTES

- 1. NEW LANDSCAPING IN EXISTING LANDSCAPE BED.
- 2. EXISTING HVAC UNIT, REPLACE IF REQ.
- 3. NEW WOOD SLAT SCREENING OVER EXISTING FENCE, 48" AFF.
- 4. NEW PARKING LOT COATING
- 5. EXISTING CONCRETE COURTYARD, PRESSURE WASH
- 6. NEW CEDAR BENCH
- 7. MCLOUGHLIN PROMENADE, N.I.C.
- 8. OREGON CITY ELEVATOR, N.I.C.
- 9. PAINT EXISTING PLANTER BED, P-3
- 10. NEW GUARDRAIL, TYP
- 11. NEW LIGHT AT EXISTING POLE
- 12. CLEAN EXISTING AREA DRAIN
- 13. LOWER GRADE AT BUILDING PERIMETER TO MINIMUM 6" BELOW WINDOW SILL. SLOPE AWAY FROM BUILDING.
- 14. RELOCATE EXISTING WHEEL STOPS
- 15. NEW PARKING STRIPING, TYP
- 16. NEW PEDESTRIAN COATING

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HIGH STREET BUILDING
ALTERATIONS

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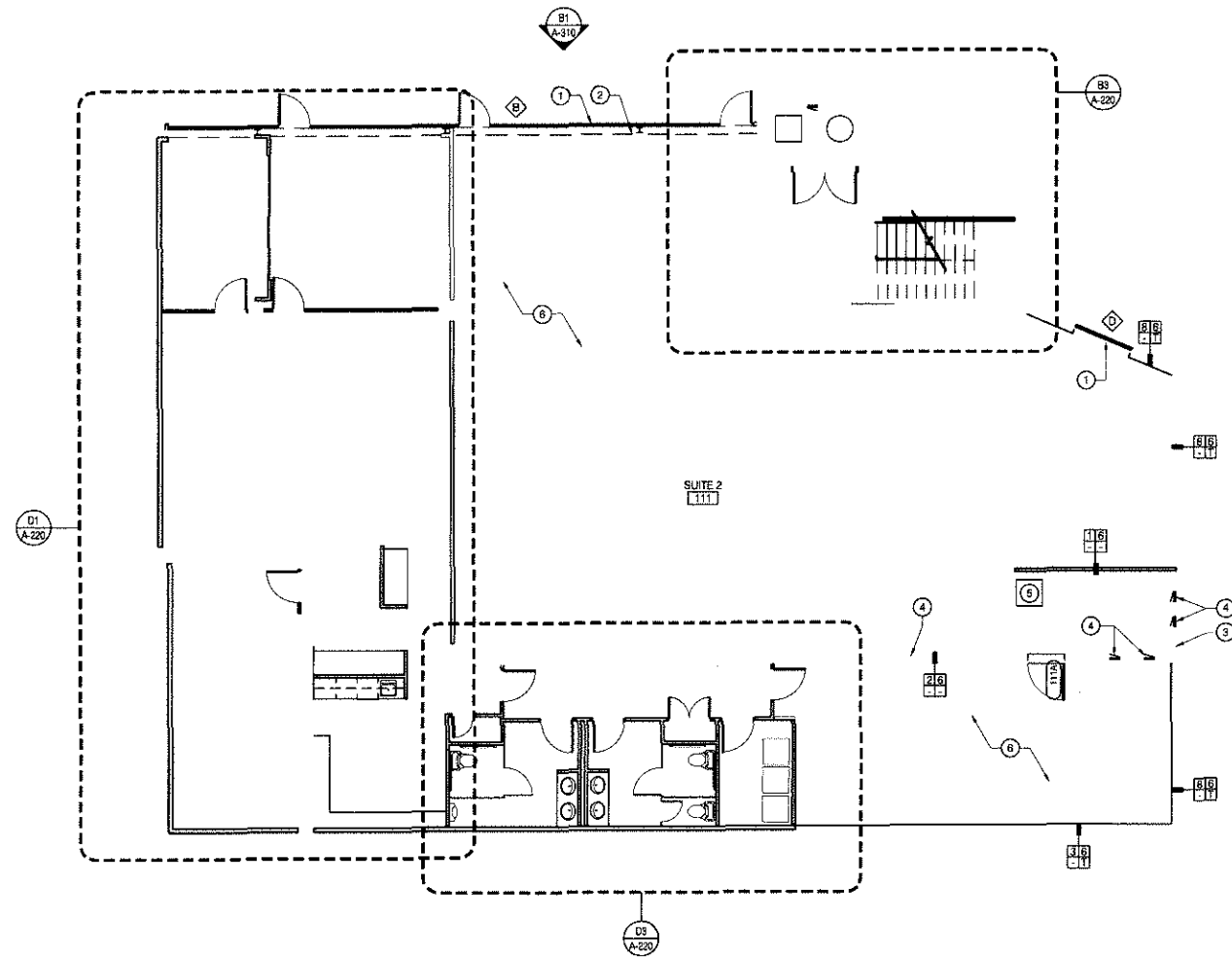
SITE PLAN

PROJECT NO. 2940-15
DRAWN BY:
DATE: JUNE 29, 2015

A-100

BID DOCUMENTS

C2
A-200
BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN NOTES

- A. REFER TO DOOR AND WINDOW MANUFACTURERS SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZE.
- B. REFER TO EXISTING CONDITIONS FOR SPECIFIC WALL ASSEMBLY INFORMATION.
- C. SEE ELEVATIONS FOR FINISH LEGEND.

GLAZING SYSTEM NOTES

- A. LIST AND LABEL FIXED GLAZING IN ACCORDANCE WITH THE BUILDING CODE(S).
- B. PROVIDE TEMPERED AND IMPACT RESISTANT GLAZING TYPES IN ASSEMBLIES AS INDICATED IN THE BUILDING CODE(S).
- C. ALL SIZE DESIGNATIONS ARE WIDTH x HEIGHT (JAMB TO JAMB/SILL TO HEAD).
- D. PROVIDE ALL OPERABLE WINDOWS WITH LIMITERS RESTRICTING WINDOW OPENING (EXCEPT EGRESS WINDOWS) NO FURTHER THAN 45 DEGREES OR 12 INCHES - THE LEAST OF THE TWO.

FLOOR PLAN KEYED NOTES

1. NEW STORE FRONT WINDOW SYSTEM.
2. EXISTING WIDE FLANGE COLUMN, REMOVE CORROSION, PRIMER AND PAINT.
3. MAIN DISTRIBUTION PANEL.
4. EXISTING PANEL.
5. HVAC UNIT, REPLACE IF REQ.
6. UNFINISHED SHELL.

NOT FOR
CONSTRUCTION

HIGH STREET BUILDING ALTERATIONS

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GROUND FLOOR PLAN

PROJECT NO.: 2940-15
DRAWN BY:
DATE: JUNE 29, 2015

A-200

FLOOR PLAN NOTES

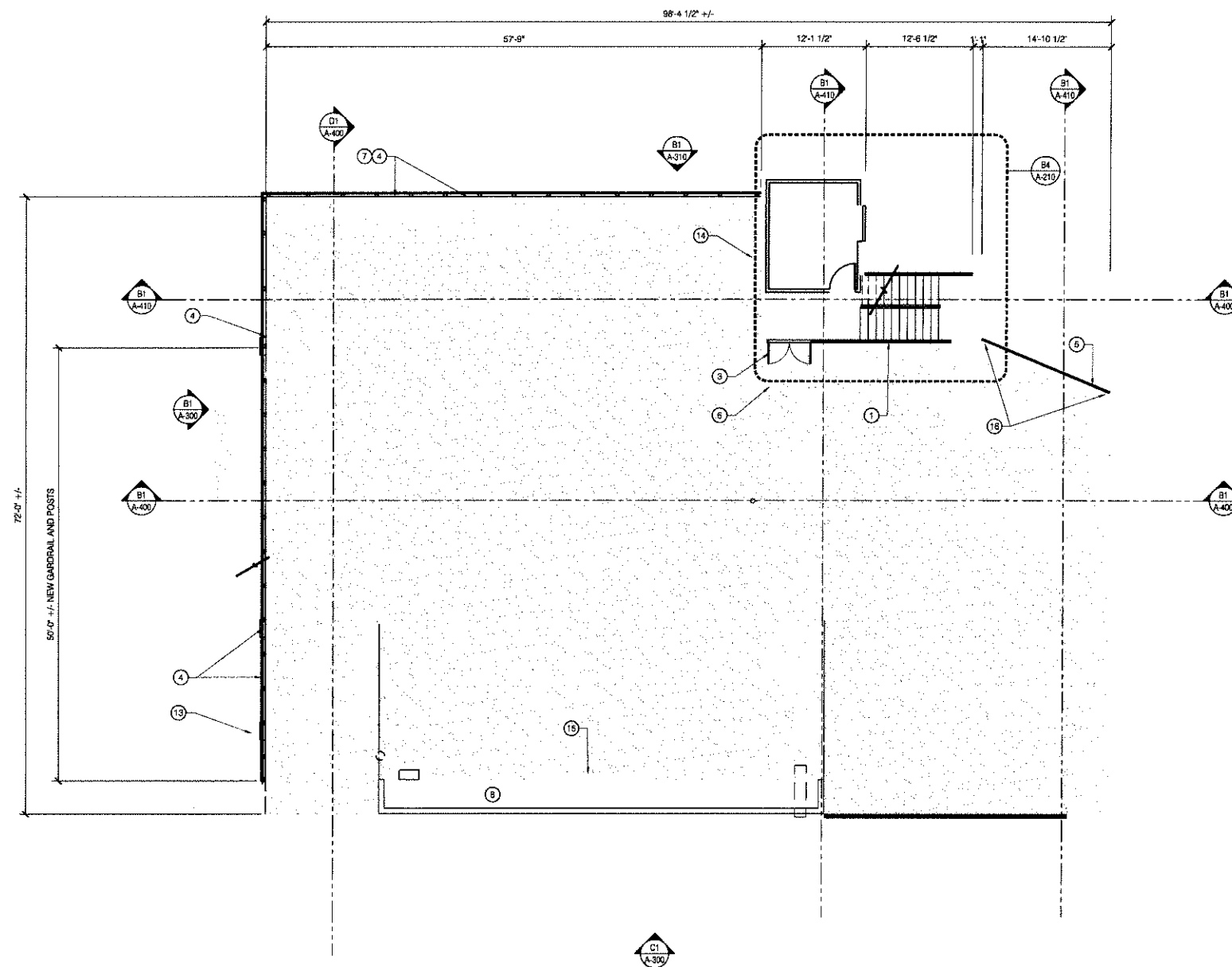
- A. REFER TO DOOR AND WINDOW MANUFACTURERS' SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZE.
- B. REFER TO EXISTING CONDITIONS FOR SPECIFIC WALL ASSEMBLY INFORMATION.
- C. SEE ELEVATIONS FOR FINISH LEGEND

GLAZING SYSTEM NOTES

- A. LIST AND LABEL FIXED GLAZING IN ACCORDANCE WITH THE BUILDING CODE(S).
- B. PROVIDE TEMPERED AND IMPACT RESISTANT GLAZING TYPES IN ASSEMBLIES AS INDICATED IN THE BUILDING CODE(S).
- C. ALL SIZE DESIGNATIONS ARE WIDTH x HEIGHT (JAMB TO JAMB/SILL TO HEAD).
- D. PROVIDE ALL OPERABLE WINDOWS WITH LIMITERS RESTRICTING WINDOW OPENING (EXCEPT EGRESS WINDOWS) NO FURTHER THAN 48 DEGREES OR 12 INCHES - THE LEAST OF THE TWO.

FLOOR PLAN KEYED NOTES

1. NEW STORE FRONT WINDOW SYSTEM
2. EXISTING WIDE FLANGE COLUMN, REMOVE CORROSION, PRIMER AND PAINT, P-2
3. NEW STORE FRONT DOOR
4. NEW WOOD GUARDRAIL AND POST
5. NEW WOOD GUARDRAIL ATTACH TO EXISTING POSTS
6. NEW SOFFIT SEE DETAIL D4/A200
7. PAINT ALL EXTERIOR BUILDING FACES, P-1
8. NEW LANDSCAPING
9. NOT USED
10. REPAIR CRACKS IN PLANTER WITH NON SHRINK EPOXY GROUT
11. NOT USED
12. TRUGROOVE - LINEAR RECESSED LED TRIMLESS LIGHT, (2' 4" AND 6" AS SHOWN)
13. POWER WASH EXTERNAL STAIRS
14. NEW LIGHT
15. LITHONIA D SERIES O ON EXISTING POLE. PAINT POLE, P-2
16. NEW POST.



GROUND FLOOR PLAN

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HIGH STREET BUILDING ALTERATIONS

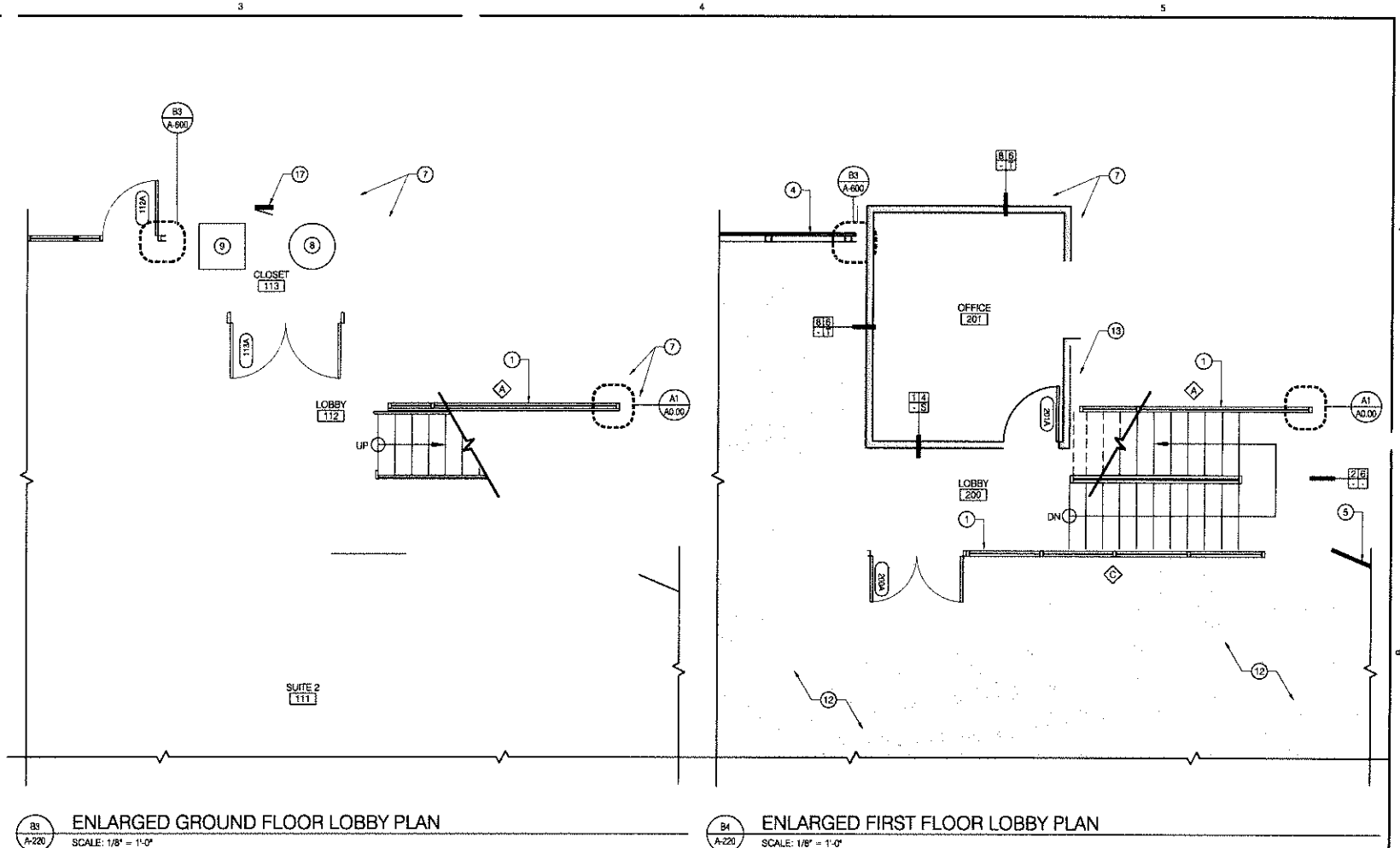
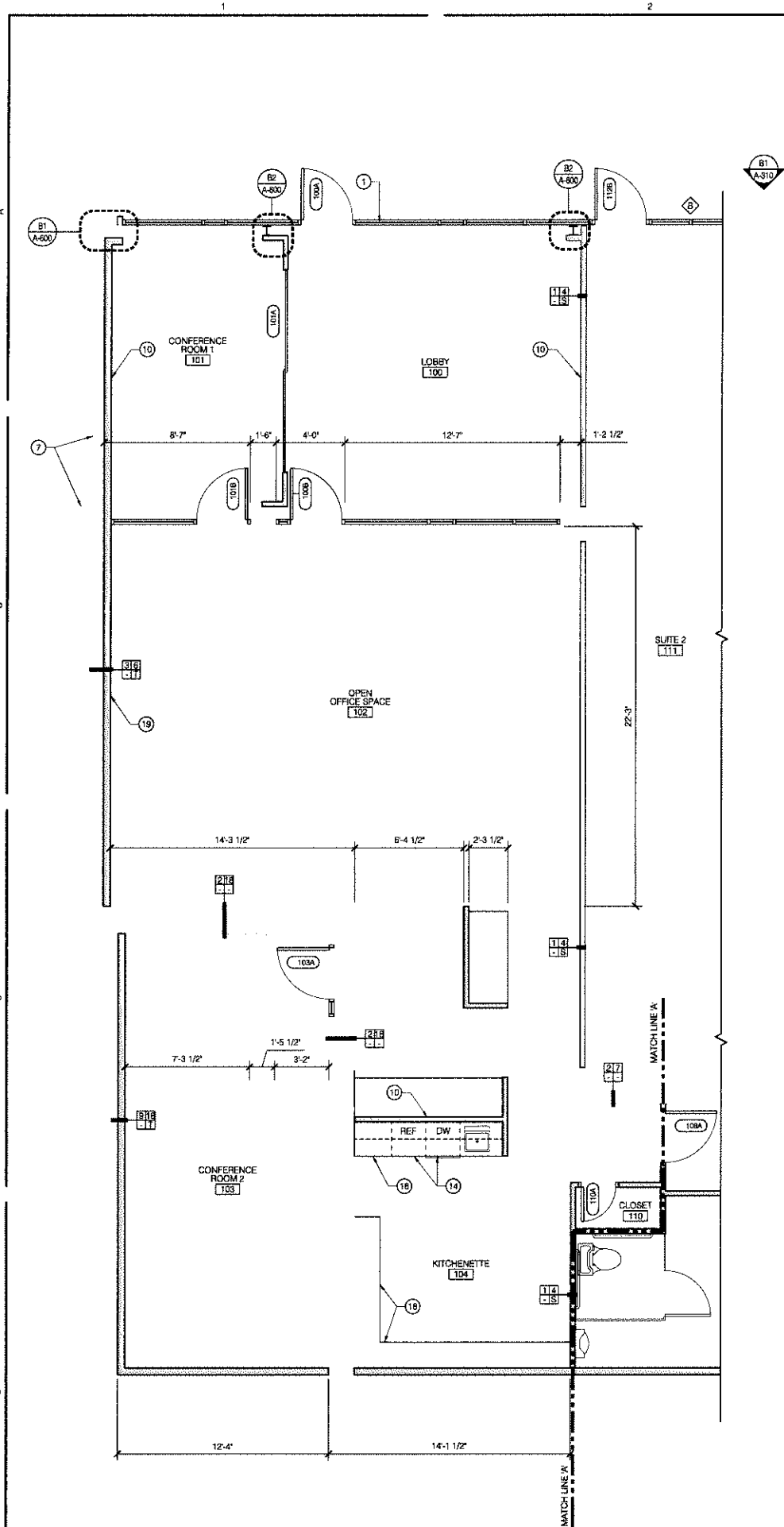
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FIRST FLOOR PLAN

BID DOCUMENTS

PROJECT NO.: 2940-15
DRAWN BY:
DATE: JUNE 29, 2015

A-210

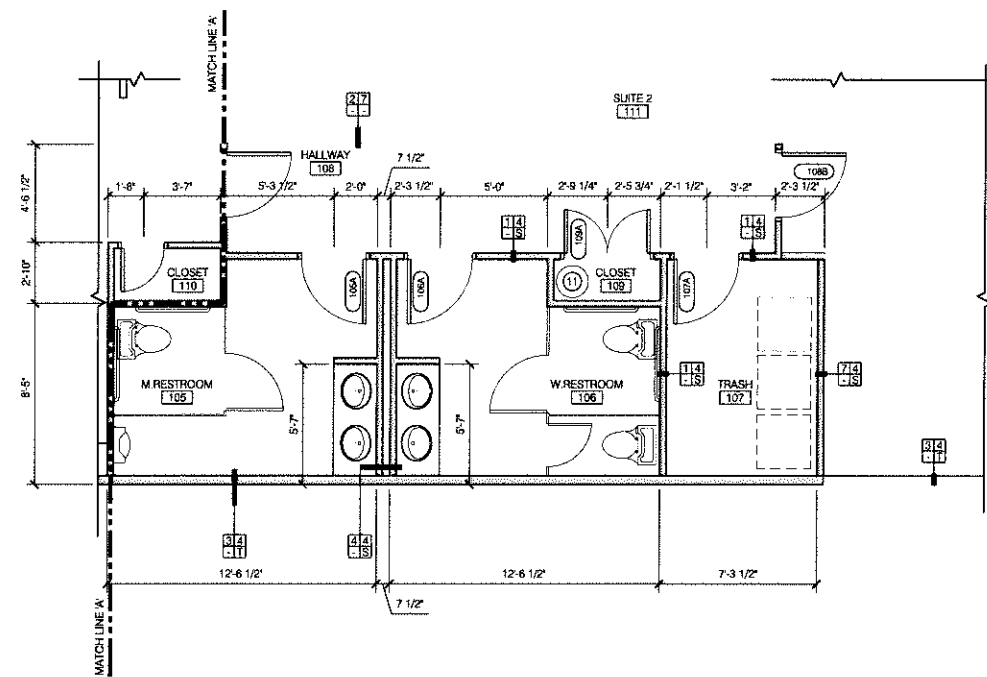


FLOOR PLAN NOTES

- REFER TO DOOR AND WINDOW MANUFACTURERS' SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZE.
- FOR SPECIFIC WALL ASSEMBLY INFORMATION, SEE G-000 SERIES.

FLOOR PLAN KEYED NOTES

- NEW STORE FRONT WINDOW SYSTEM
- EXISTING WIDE FLANGE COLUMN, REMOVE CORROSION, PRIMER AND PAINT, P-2
- NEW STORE FRONT DOOR
- NEW WOOD GUARDRAIL AND POST
- NEW WOOD GUARDRAIL ATTACH TO EXISTING POSTS
- NEW SOFFIT SEE DETAIL D4/A200
- PAINT ALL EXTERIOR BUILDING FACES, P-1
- EXISTING SUMP PUMP TO REMAIN
- EXISTING HVAC UNIT, REPLACE IF REQ
- PROVIDE POWER AND DATA AT 5' AFF
- WATER HEATER
- TRAFFIC COATING
- EXISTING WALL VENT TO REMAIN
- NEW APPLIANCES
- NOT USED
- NEW POST
- EXISTING PANEL
- NEW CASEWORK
- PROVIDE POWER AND DATA AT 15' AFF



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HIGH STREET BUILDING ALTERATIONS

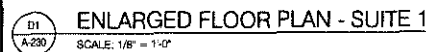
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ENLARGED FLOOR PLANS

PROJECT NO.: 2940-15
 DRAWN BY:
 DATE: JUNE 29, 2015

A-220

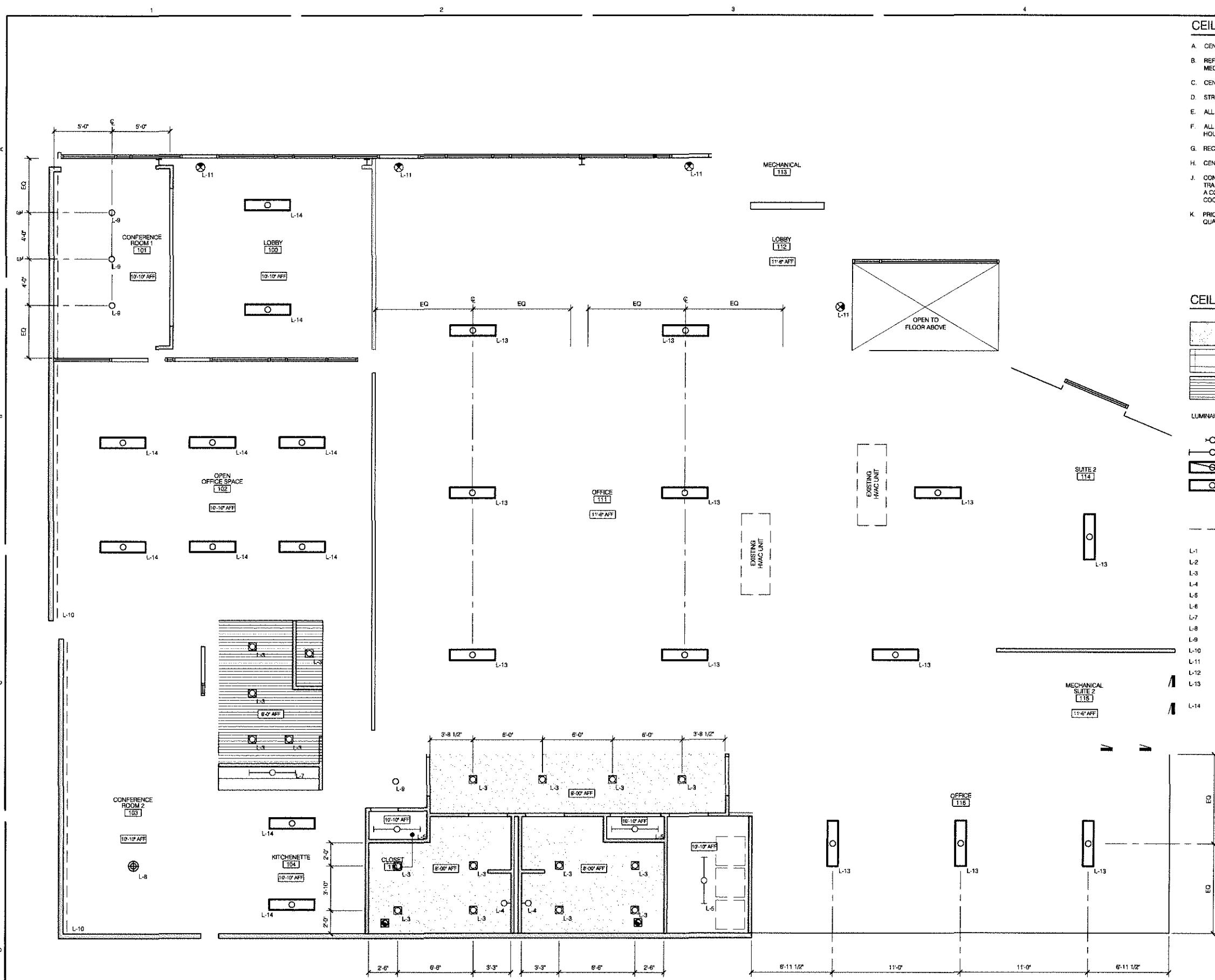
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INTERIOR FINISH NOTES

- A. INSTALL ALL FINISHES PER MANUFACTURERS INSTRUCTIONS.
- B. PREPARE ALL FLOOR AND WALL SURFACES FOR NEW FINISHES. PROVIDE FLOOR LEVELING, PER ARCHITECT PRE APPROVED METHOD AND MATERIALS, AS REQUIRED TO INSURE PROPER INSTALLATION OF PRODUCT(S).
- C. ALL FLOORING MATERIAL TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS UNLESS NOTED OTHERWISE.
- D. FINISH IN ACCESSORY SPACES TO MATCH ADJACENT SPACES, UNLESS NOTED OTHERWISE.
- E. FURNITURE AND PLANTS SHOWN FOR REFERENCE ONLY, UNLESS NOTED OTHERWISE.
- F. VERIFY ALL FIXTURE AND APPLIANCE DIMENSIONS PRIOR TO CASEWORK FABRICATION. FIELD VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION.

[illegible]



- CEILING PLAN NOTES**
- A. CENTER ACOUSTICAL CEILING TILE GRIDS IN ROOMS, UNLESS NOTED OTHERWISE.
 - B. REFLECTED CEILING PLANS INDICATE LOCATIONS OF PRIMARY LIGHTING FIXTURES AND MECHANICAL COMPONENTS INTEGRAL WITH CEILINGS.
 - C. CENTER LIGHTS IN SOFFITS, UNLESS NOTED OTHERWISE.
 - D. STRUCTURAL INFORMATION SHOWN IS DIAGRAMMATIC.
 - E. ALL WALLS EXTEND TO BOTTOM OF STRUCTURE, UNLESS NOTED OTHERWISE.
 - F. ALL FIXTURES IC RATED, UNLESS REQUIRED BY PREVAILING CODE TO MAINTAIN ONE HOUR RATING OR NOTED OTHERWISE.
 - G. RECESSED FIXTURES TO BE LENSED WHERE REQUIRED BY PREVAILING CODE.
 - H. CENTER VANITY FIXTURES OVER LAVATORY, UNLESS NOTED OTHERWISE.
 - J. CONTRACTOR IS RESPONSIBLE FOR ALL ABOVE CEILING HANGER BARS, TRANSFORMERS, UNIT HEATERS AND OTHER NECESSARY ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION IN COMPLIANCE WITH APPLICABLE CODES AND COORDINATED WITH STRUCTURAL ENGINEER.
 - K. PRIOR TO ORDERING OR INSTALLING, ALL EXISTING SIGNAGE LOCATIONS AND QUANTITIES APPROVED BY LOCAL FIRE MARSHALL, VERIFY WITH ARCHITECT.

- CEILING PLAN LEGEND**
- GYPSUM BOARD
 - EXISTING CEILING GRID WITH NEW ARMSTRONGS ACOUSTIC CEILING TILES
 - 1X4 T AND G SOFFIT
 - LUMINAIRE
 - BLANK CIRCLE IN LUMINAIRE NOT ON AN EMERGENCY CIRCUIT
 - SOLID FILLED CIRCLE IN LUMINAIRE ON AN EMERGENCY CIRCUIT
 - WALL-MOUNT SCONCE
 - UNDER CABINET / SURFACE MOUNTED FLUORESCENT
 - RECESSED FLUORESCENT
 - SUSPENDED FLUORESCENT
 - LED ROPE LIGHT
- L-1 TRUE GROVE UNIER FLUORESCENT
L-2 RECESSED FLORESCENT: LITHONIA - 2AV G 3 32MDRMVOLT1
L-3 CAN LIGHT: HALO 6" IC RATED CAN LIGHT
L-4 BATHROOM WALL SCONCE
L-5 SURFACE MOUNTED FLUORESCENT
L-6 SURFACE MOUNTED FLUORESCENT
L-7 FLUORESCENT UNDER CABINET LIGHT
L-8 LARGE PENDENT
L-9 FLUSH MOUNTED DOWN LIGHTS
L-10 LED ROPE LIGHT
L-11 EXIT SIGN: LITHONIA - EOG LED M6
L-12 EGRESS LIGHT: LITHONIA - ELA T Q
L-13 SUSPENDED LIGHT - LITHONIA LIGHTING 1233 NARROW REFLECTOR SHOP LIGHT OR SIMILAR
L-14 TRUE GROVE UNIER FLUORESCENT SUSPENDED LIGHT

D1
A-250
ENLARGED GROUND FLOOR REFLECTED CEILING PLAN - SUITE 1
SCALE: 1/8" = 1'-0"

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BID DOCUMENTS

REFLECTED CEILING PLAN

PROJECT NO.: 2940-15
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A-250

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HIGH STREET BUILDING
ALTERATIONS

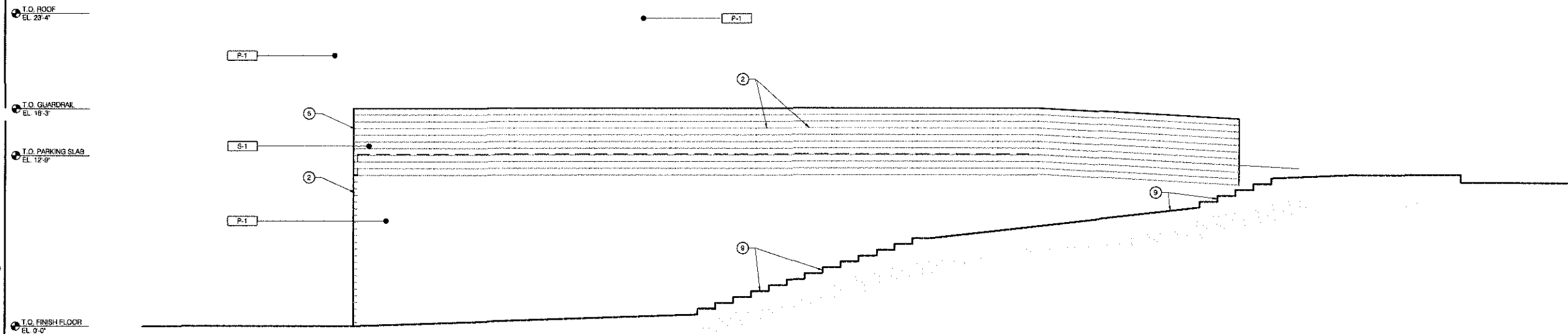
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EXTERIOR ELEVATION
AND SCHEDULES

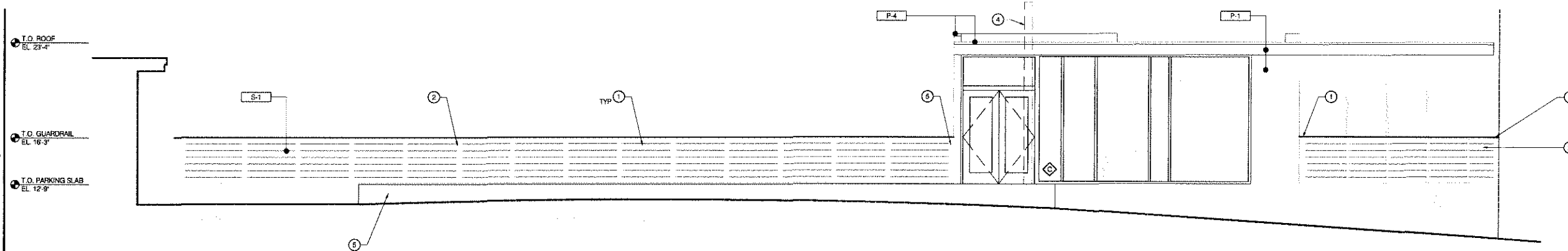
BID DOCUMENTS

PROJECT NO. 2040-15
DRAWN BY:
DATE: JUNE 29, 2015

A-300



B1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



C1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH LEGEND

	GLAZING
	GROUND / ADJACENT BUILDING
	SHERWIN WILLIAMS, MULTI-SURFACE ACRYLIC COATING - IRON ORE, EGGSHELL SHEEN
	SHERWIN WILLIAMS, MULTI-SURFACE ACRYLIC COATING - BLACK, GLOSS SHEEN
	STORM, SEMI SOLID STAIN - NATURAL LIGHT

ELEVATION KEYNOTES

1. NEW POST, TYP
2. NEW 2X6 CEDAR GUARDRAIL
3. NEW STORE FRONT WINDOW SYSTEM
4. EXISTING SIGN, PAINT P-3
5. PAINT EXISTING PLANTER, P-3
6. 4X FURRING
7. NEW 2X6 CEDAR OVER EXISTING WALLS NOT SHOWN FOR CLARITY
8. LOCATION OF STRUCTURAL COLUMN BEHIND STOREFRONT
9. POWER WASH EXISTING STAIRS

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HIGH STREET BUILDING ALTERATIONS

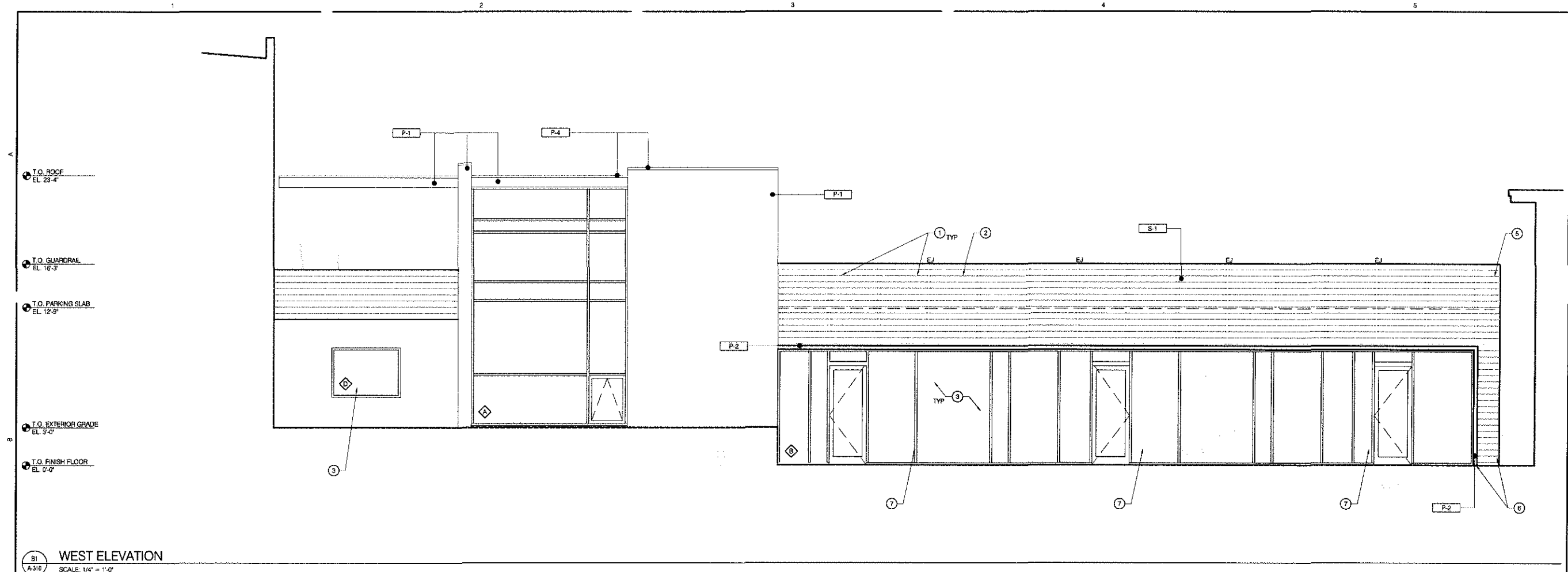
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





EXTERIOR ELEVATION AND SCHEDULES

PROJECT NO.:	2940-15
DRAWN BY:	
DATE:	JUNE 29, 2015

A-310



EXTERIOR FINISH LEGEND

	GLAZING
	GROUND / ADJACENT BUILDING
	SHERWIN WILLIAMS, MULTI-SURFACE ACRYLIC COATING - GREEN BLACK SW8994, EGGSHELL SHEEN
	SHERWIN WILLIAMS, MULTI-SURFACE ACRYLIC COATING - BLACK, GLOSS SHEEN
	SHERWIN WILLIAMS, MULTI-SURFACE ACRYLIC COATING - WESTCHESTER GRAY SW2649, EGGSHELL SHEEN
	WHITE - EXISTING CAP FLASHING - DO NOT PAINT
	STORM, SEMI SOLID STAIN - NATURAL LIGHT

ELEVATION KEYNOTES

1. NEW POST, TYP
2. NEW 2X6 CEDAR GUARDRAIL
3. NEW STORE FRONT WINDOW SYSTEM
4. EXISTING SIGN, PAINT P-3
5. PAINT EXISTING PLANTER, P-3
6. 4X FURRING
7. NEW 2X6 CEDAR OVER EXISTING WALLS NOT SHOWN FOR CLARITY
8. LOCATION OF STRUCTURAL COLUMN BEHIND STOREFRONT

NOT FOR
CONSTRUCTION

HIGH STREET BUILDING
ALTERATIONS

815 HIGH ST. OREGON CITY OR 97045
22E31ABX020

BUILDING SECTIONS

PROJECT NO. 2940-15
DRAWN BY:
DATE: JUNE 29, 2015

A-400

T.O. ROOF
EL. 23'-4"

T.O. GUARDRAIL
EL. 16'-3"

T.O. PARKING SLAB
EL. 12'-9"

B.O. PARKING SLAB
EL. 11'-6"

T.O. SLAB
EL. 0'-0"

B1
A-400
SECTION 1
SCALE: 1/4" = 1'-0"

T.O. ROOF
EL. 23'-4"

T.O. GUARDRAIL
EL. 16'-3"

T.O. PARKING SLAB
EL. 12'-9"

B.O. PARKING SLAB
EL. 11'-6"

T.O. SLAB
EL. 0'-0"

D1
A-400
SECTION 2
SCALE: 1/4" = 1'-0"

SECTION KEYNOTES

- BUILDING FACE BEYOND
- NEW WOOD SLAT SCREENING OVER EXISTING FENCE 48" AFF
- EXISTING GRADE AT CONCRETE
- EXISTING ROOF CANOPY W/ NEW SOFFIT
- THICKENED SLABS
- PEDESTRIAN TRAFFIC COATING
- VEHICULAR TRAFFIC COATING
- SLAB ON GRADE
- EXISTING CONCRETE WALL
- CLEAN EXISTING TRENCH DRAIN
- CEDAR GUARD RAIL
- EXISTING ROOF WITH NEW SOFFIT
- WOOD ACCENT WALL OVER CONCRETE
- EXISTING CONCRETE BEAM
- FUR OUT EXTERIOR WALL(S). SEE WALL TYPE
- NEW RIGID INSULATION WHERE OCCURS
- EXTERIOR STAIRS POWER WASH
- EXTERIOR COURTYARD TO REMAIN

NOTE: NOT ALL NOTES ARE USED ON THIS PAGE

NOT FOR
CONSTRUCTION

HIGH STREET BUILDING
ALTERATIONS

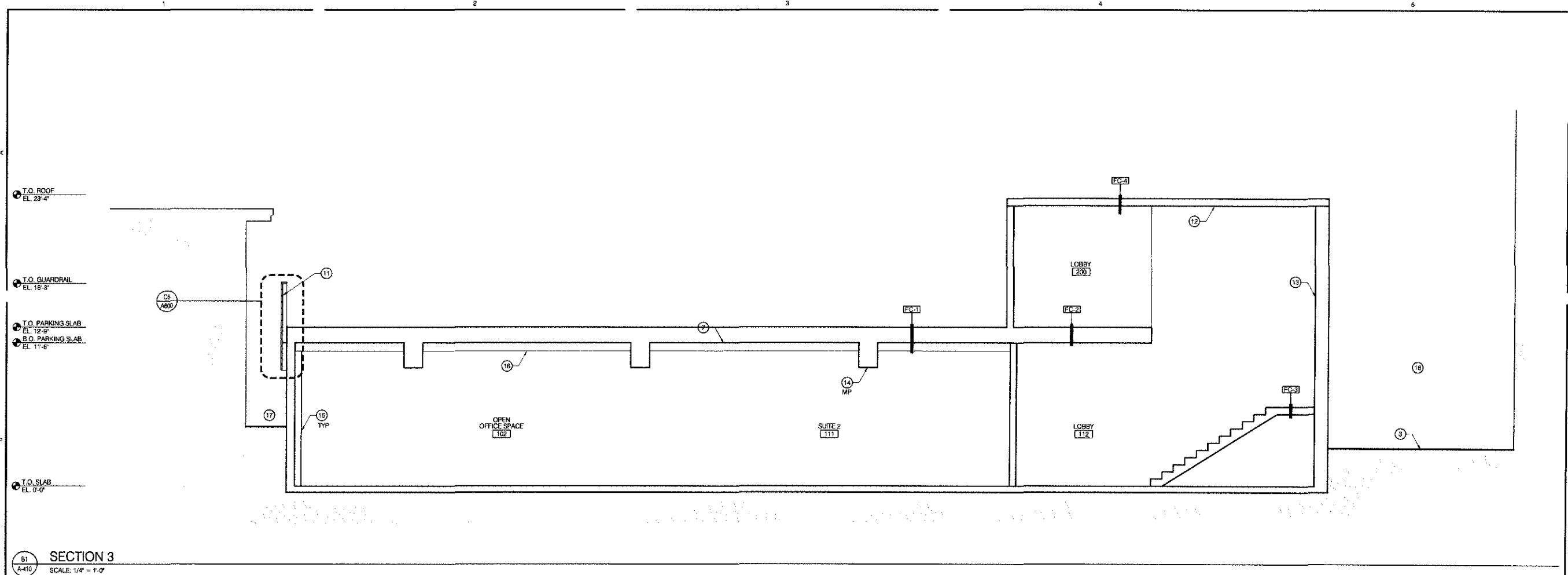
815 HIGH ST, OREGON CITY, OR 97045
22ET1A00200

BUILDING SECTION

PROJECT NO.: 2940-15
DRAWN BY:
DATE: JUNE 29, 2015

A-410

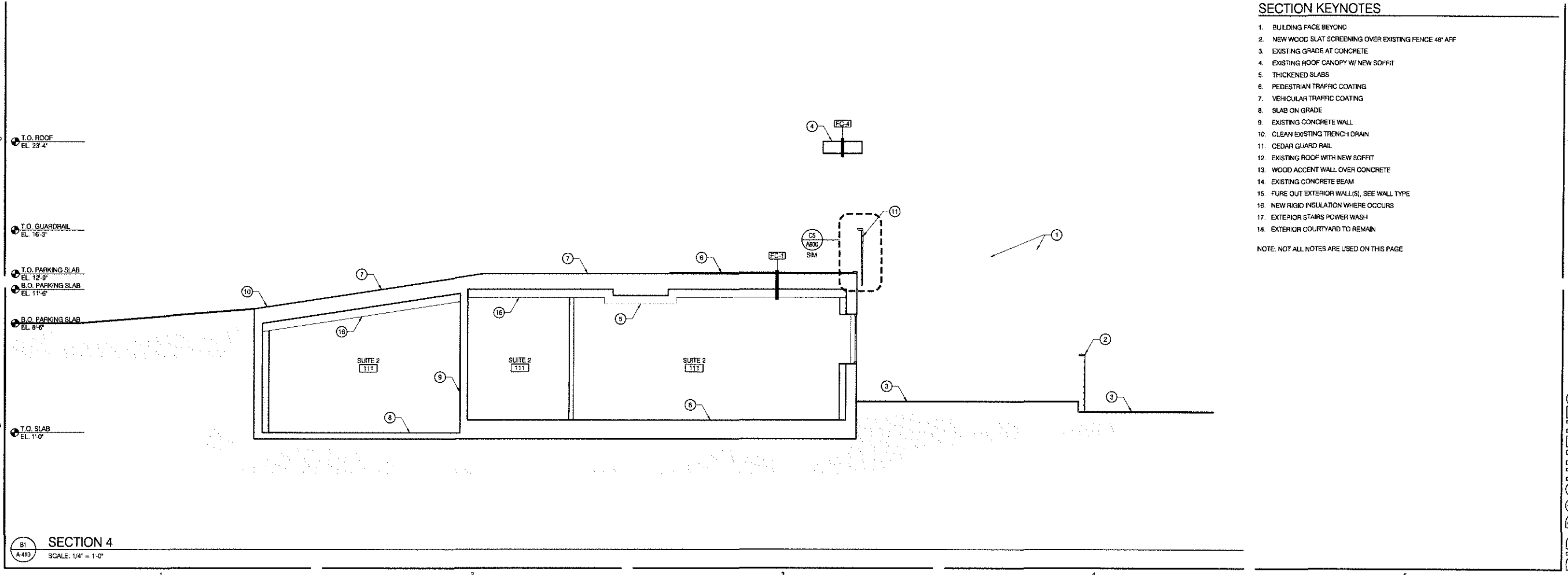
BID DOCUMENTS



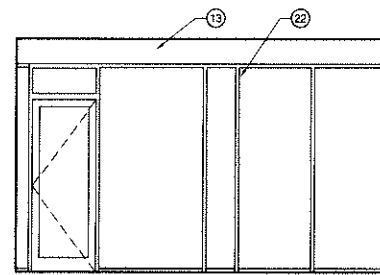
SECTION 3
A-410
SCALE: 1/4" = 1'-0"

SECTION KEYNOTES

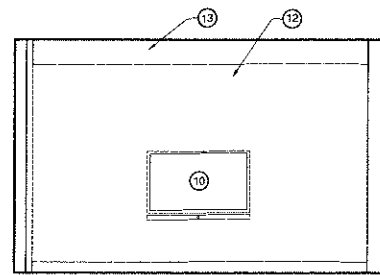
1. BUILDING FACE BEYOND
 2. NEW WOOD SLAT SCREENING OVER EXISTING FENCE 48" AFF
 3. EXISTING GRADE AT CONCRETE
 4. EXISTING ROOF CANOPY W/ NEW SOFFIT
 5. THICKENED SLABS
 6. PEDESTRIAN TRAFFIC COATING
 7. VEHICULAR TRAFFIC COATING
 8. SLAB ON GRADE
 9. EXISTING CONCRETE WALL
 10. CLEAN EXISTING TRENCH DRAIN
 11. CEDAR GUARD RAIL
 12. EXISTING ROOF WITH NEW SOFFIT
 13. WOOD ACCENT WALL OVER CONCRETE
 14. EXISTING CONCRETE BEAM
 15. FURF OUT EXTERIOR WALL(S), SEE WALL TYPE
 16. NEW RIGID INSULATION WHERE OCCURS
 17. EXTERIOR STAIRS POWER WASH
 18. EXTERIOR COURTYARD TO REMAIN
- NOTE: NOT ALL NOTES ARE USED ON THIS PAGE



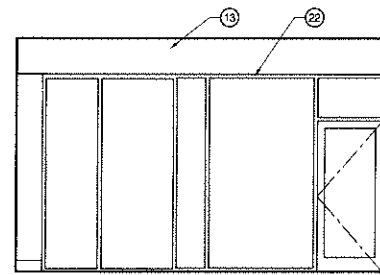
SECTION 4
A-410
SCALE: 1/4" = 1'-0"



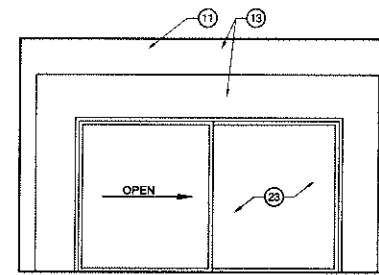
A



B

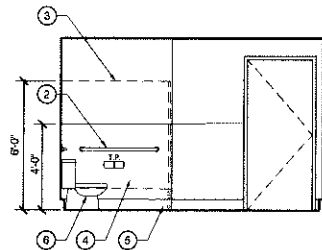


C

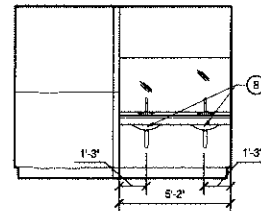


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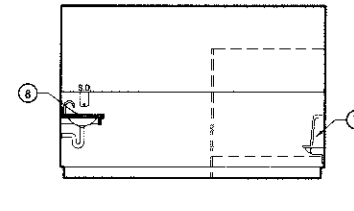
A1
A-500
INTERIOR ELEVATIONS ROOM 100 - LOBBY
SCALE: 1/4" = 1'-0"



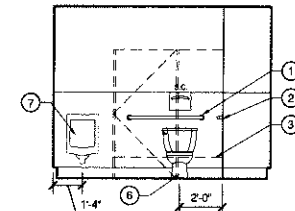
A



B

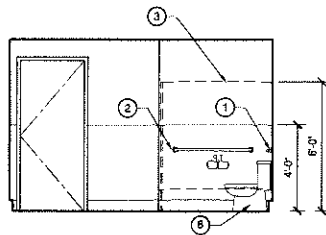


C

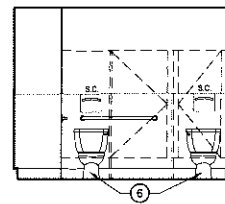


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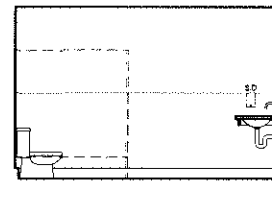
B1
A-500
INTERIOR ELEVATIONS ROOM 105 - MENS RESTROOM
SCALE: 1/4" = 1'-0"



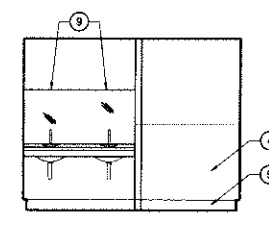
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B

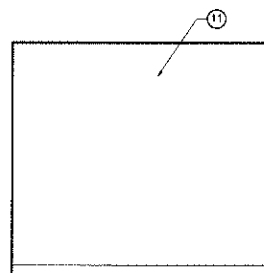


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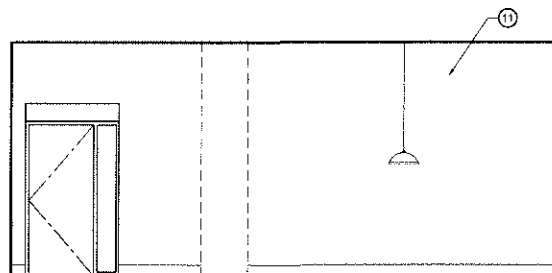


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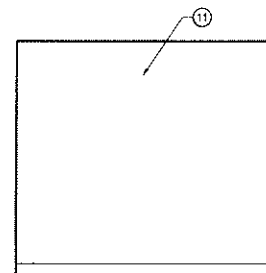
C1
A-500
INTERIOR ELEVATIONS ROOM 106 - WOMENS RESTROOM
SCALE: 1/4" = 1'-0"



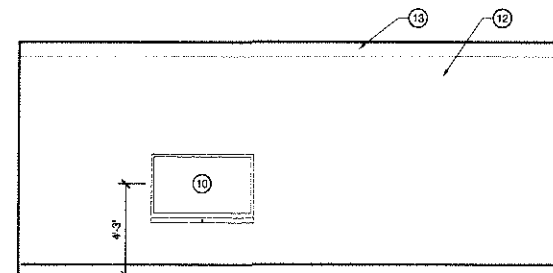
A



B



C



D

D1
A-500
INTERIOR ELEVATIONS ROOM 103 - CONFERENCE ROOM
SCALE: 1/4" = 1'-0"

INTERIOR ELEVATIONS KEYED NOTES

- 36" GRAB BAR
- 42" GRAB BAR
- TOILET PARTITION METAL
- P. LAM WANSOATING
- 8" RUBBER BASE
- ADA TOILET HANDEL AWAY FROM NEAR WALL
- URINAL
- UNDER COUNTER SINK
- FRAMED MIRROR
- TV. PROVIDE POWER AN DATA @ 50" AFF
- SAND BLAST AND SEAL CONCRETE WALL
- WOOD ACCENT WALL
- GYPSUM WALL BOARD
- TENSION CABLE
- LED ROPE LIGHT BEHIND ACCENT WALL
- STORE FRONT WINDOW
- OPEN TO BEYOND
- HANDRAIL 36" AFF / LEADING EDGE
- PAINTED RIGID INSULATION
- 4" RUBBER BASE
- EXISTING VENT
- NEW TIMELY WINDOW SYSTEM
- NEW SLIDING DOOR
- STORE FRONT WINDOW SYSTEM

Greenbox
1300 JOHN ADAMS STREET, SUITE 108
OREGON CITY, OREGON 97045

NOT FOR
CONSTRUCTION

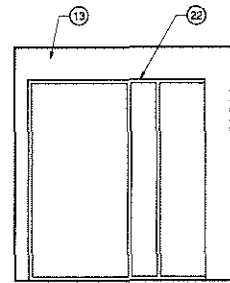
HIGH STREET BUILDING
ALTERATIONS

615 HIGH ST. OREGON CITY, OR 97045
22E11AB0000

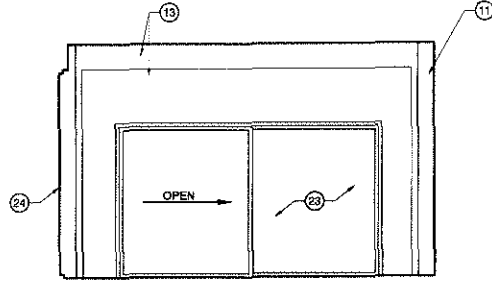
INTERIOR ELEVATIONS

PROJECT NO. 2940-15
DRAWN BY:
DATE: JUNE 29, 2015

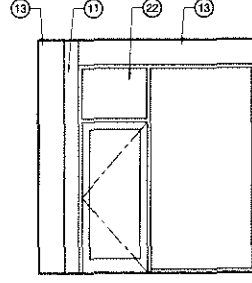
A-500



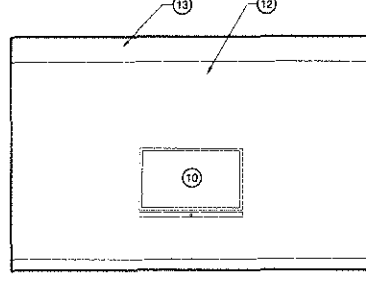
A



B



C

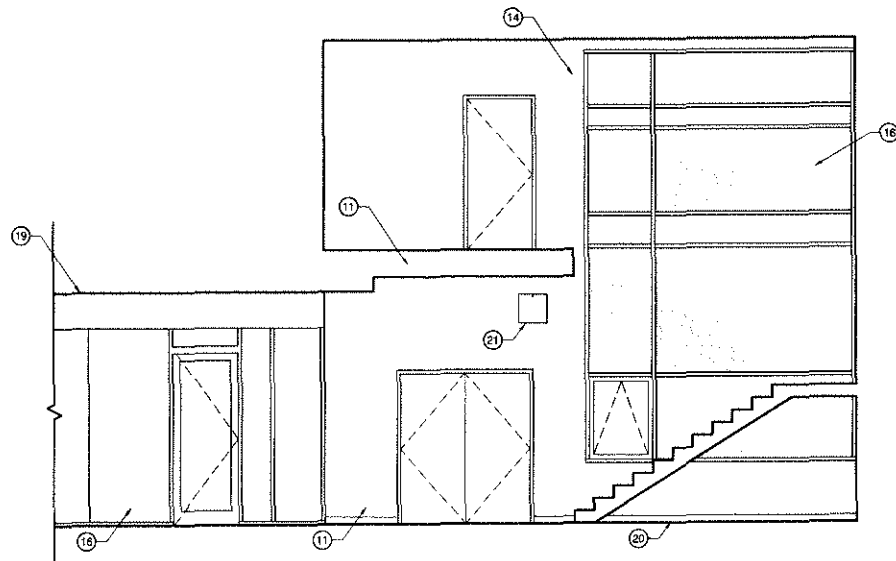


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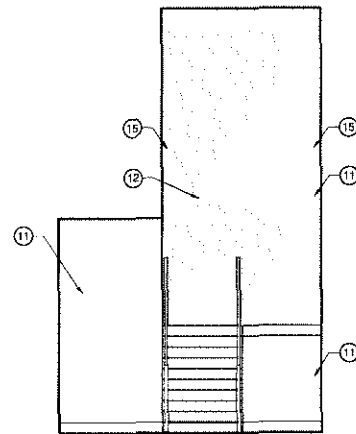
INTERIOR ELEVATIONS KEYED NOTES

- 36" GRAB BAR
- 42" GRAB BAR
- TOILET PARTITION METAL
- P. LAM WANSICOATING
- 6" RUBBER BASE
- ADA TOILET HANDEL AWAY FROM NEAR WALL
- URINAL
- UNDER COUNTER SINK
- FRAMED MIRROR
- TV. PROVIDE POWER AN DATA @ 50" AFF
- SAND BLAST AND SEAL CONCRETE WALL
- WOOD ACCENT WALL
- GYPSUM WALL BOARD
- TENSION CABLE
- LED ROPE LIGHT BEHIND ACCENT WALL
- STORE FRONT WINDOW
- OPEN TO BEYOND
- HANDRAIL 36" AFF / LEADING EDGE
- PAINTED RIGID INSULATION
- 4" RUBBER BASE
- EXISTING VENT
- NEW TIMELY WINDOW SYSTEM
- NEW SLIDING DOOR
- STORE FRONT WINDOW SYSTEM

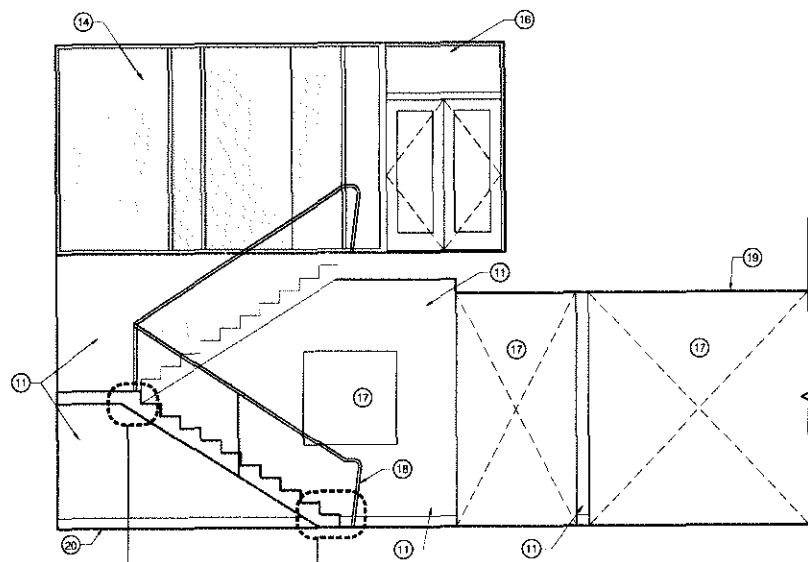
A1
A-510
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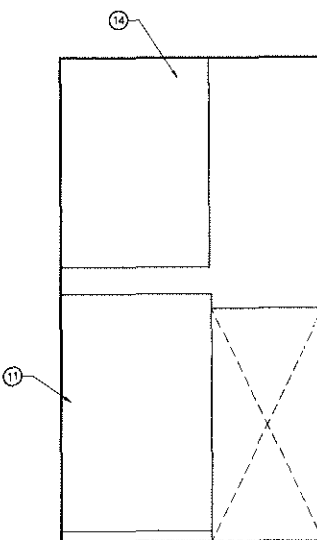
A



B



C



D

B1
A-510
SCALE: 1/4" = 1'-0"

NOT FOR
CONSTRUCTION

HIGH STREET BUILDING ALTERATIONS

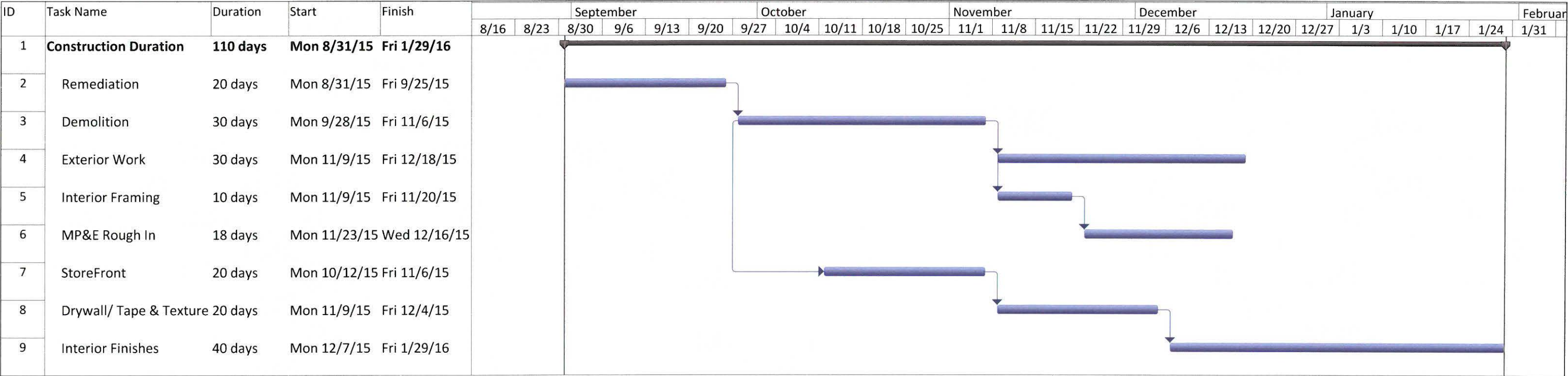
615 HIGH ST. OREGON CITY OR 97045
2/25/2015

INTERIOR ELEVATIONS

PROJECT NO: 2940-15
DRAWN BY:
DATE: JUNE 29, 2015

A-510

BID DOCUMENTS



Project: 615 High Street
Date: Mon 7/13/15

Task

Split

Milestone

Summary

Project Summary

External Tasks

External Milestone

Inactive Task

Inactive Milestone

Inactive Summary

Manual Task

Duration-only

Manual Summary Rollup

Manual Summary

Start-only

Finish-only

Deadline

Progress

Start-only

Finish-only

COMMENT FORM



PLEASE PRINT CLEARLY

- SPEAK INTO THE MICROPHONE AND STATE YOUR NAME AND RESIDING CITY
- Limit Comments to 3 MINUTES.
- Give to the Clerk in Chambers prior to the meeting.

Date of Meeting 9/2/15 URC

Item Number From Agenda 4a

NAME:

Derek Metson

ADDRESS:

Street: _____

City, State, Zip: _____

PHONE NUMBER:

E-MAIL ADDRESS:

SIGNATURE:
